



NORTHWEST ASSOCIATED CONSULTANTS, INC.

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TRANSMITTAL

DATE: July 31, 2013		
TO: Sunfish Lake Mayor and City Council Catherine Iago Tim Kuntz Don Sterna David Neameyer Jim Naves Ron Wasmund		NUMBER OF PAGES INCLUDING COVER:
FROM: Michelle Barness / Alan Brixius		
QUANTITY:	MATERIAL/DESCRIPTION: Sunfish Lake August 6, 2013 City Council Meeting – Agenda Items 6a-6b	DATED:
VIA: Fax ☐ Mail ☒ E-Mail ☒ Pick Up ☐ Delivery ☐		
REMARKS: Attached please find the following items for the August 6, 2013 City Council meeting: Agenda Item: • 6a: 8 Roanoke Road Major Site & Building Plan Review & CUP • 6b: Planner's Report/Update • July 17, 2013 Planning Commission Minutes • Planning Commission Findings of Fact – 8 Roanoke Road • Council Resolution – 8 Roanoka Road Please let me know if you have any questions or need additional information. Thank you.		
CITY/PROJECT NAME: Sunfish Lake - General		
JOB NUMBER: 211.02		



MEMORANDUM

TO: Sunfish Lake Mayor and City Council

FROM: Michelle Barness/Alan Brixius

DATE: July 31, 2013

RE: Sunfish Lake – Planning Update for August City Council Meeting

NAC FILE: 211.02 - General

8/6/13 CC Mtg.
**Agenda
Item
6b**

July 2013 Planning Commission Meeting

8 Roanoke Road. The Sunfish Lake Planning Commission met on July 17, 2013 to consider an application for a major site and building plan review and conditional use permit for the subject property. The property owners, Angela and Rick Brown, are proposing to construct a new home and garage on the undeveloped property. As the property does not meet net lot area standards described in the Ordinance, they also require approval of a conditional use permit to be able to build a single family home on a legally non-conforming substandard sized lot. The parcel is zoned R-1, Single Family Residential and falls within the Shoreland Overlay District for Horseshoe Lake.

The applicant has submitted site and building plans for the proposed home and attached garage for Council review. The plans include a site survey (Exhibit A), site layout plan (Exhibit B), building elevations (Exhibit C), floor plans (Exhibit D-E), building sections (Exhibit F), site location map (Exhibit G), deck details (Exhibit H), lighting plan and details (Exhibit I), and the City Engineer's report (Exhibit J). Revised site surveys analyzing grading, drainage, and stormwater movement on the property have also been provided for review as an addendum to the original planning report.

Review of submitted site and building plans has demonstrated that the project is able to meet R-1 District and Shoreland Overlay District standards pertaining to building setbacks, building size, building height, material use, drive and parking area design, lighting design, site grading, drainage and stormwater management, landscaping, and screening.

The City Engineer has provided additional recommendations for the applicant regarding grading, site drainage, stormwater management, septic location, and erosion control (see the email dated July 24, 2013, included as an addendum to the planning report), which the applicant has agreed to address. Revised site plans addressing some of the engineer requirements, dated June 18, 2013, have also been provided for the Council's consideration (see addendum to the planning report).

The Planning Commission recommended approval of the requested major site and building plans and conditional use permit to allow the construction of the new home and garage, based on the Planning Commission findings, which have been included with the planning update.

With the submission of these site and building plans, we request Council action on the development application for 8 Roanoke Road per the findings of the Planning Commission. A Council resolution is attached for Council consideration.

Planning Applications

393 Salem Church Road. Tim and Kristin Schacker submitted an application for a minor site and building plan review of revised site and building plans for 393 Salem Church Road. The applicants previously submitted major site and building plans to demolish an existing home and construct a new home on the subject property. The major site and building plans were approved by the City Council on May 7, 2013. Since that time the applicants have made revisions to approved plans, including reducing the area of the proposed home by approximately 450 square feet (between the lower and main floor levels), and removing or otherwise adapting a combination of landscaping and lighting improvements (stone walls, concrete walkways, driveway surfacing, and tree/shrub plantings). Additional improvements are not being proposed, with the exception of some additional shrub landscaping to be used as a substitute for removed freestanding stone walls in the landscaping design.

Minor site and building plan approval does not require review by the Planning Commission or City Council. City staff has had the opportunity to review revised site and building plans, and nearby property owners and the Council were notified of the revisions and given an opportunity to provide feedback on the project. Planning staff did not receive comments on the project and has found the revised plans to be in accordance with zoning regulations. As such, planning staff has granted approval of the minor site and building plan application, and will be forwarding the planning report addressing as much to the City Council, Planning Commission, and City staff for their records.

August 2013 Planning Commission Meeting

2154 Charlton Road Major Site and Building Plan Review. John and Shannon Nelson have submitted application for a Major Site & Building Plan Review and conditional use permit for 2154 Charlton Road. The applicants are proposing several improvements to the existing home and site. Proposed home renovations and additions include roof renovation, new window and door openings, an expanded attached garage, a new front entryway, and a second floor addition, in addition to interior renovations. Site improvements include the addition of a detached garage, and adjustments to site landscaping, lighting, and driveway surfaces. Section 1218 of the Zoning Ordinance requires a conditional use permit when more than one accessory structure is proposed for a property. Because the detached garage will be a second accessory structure, in

addition to an existing swimming pool, the applicants are also requesting approval of a conditional use permit from the City. The subject property is zoned R-1 District and Shoreland Overlay District. The project is anticipated to meet basic setback and performance standards within these districts.

21 Salem Lane Major Site and Building Plan Review. Steve and Mary Seidlitz have submitted an application for a Major Site & Building Plan Review for 21 Salem Lane. The applicants are proposing a 991 square foot master bedroom and bath addition to the first floor of their home. No other renovations, additions, or site improvements are proposed, however the addition will require excavating more than 50 cubic yards of dirt for the addition foundation and therefore the application must be considered via the major site and building plan review process. The proposed project may impact site trees and grading in the immediate vicinity of the addition. Submitted site and building plans are currently undergoing review by City staff. The subject property is zoned R-1 Single Family Residential District. The project is anticipated to meet basic setback and performance standards within these districts.

cc: Catherine Iago, City Clerk
Tim Kuntz, City Attorney
Don Sterna, City Engineer
David Neameyer, Building Official
Jim Naves, City Forester
Ron Wasmund, Septic System Inspector



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PLANNING REPORT - Major Site and Building Plan Review & CUP

TO: Sunfish Lake Mayor and City Council
Sunfish Lake Planning Commission

FROM: Michelle Barness/Alan Brixius

DATE: July 10, 2013

RE: Sunfish Lake – 8 Roanoke Road – Site and Building Plan Review & CUP

FILE: 211.01 – 13.06

Application Accepted:	June 17, 2013
Planning Commission Date:	July 17, 2013
Tentative City Council Review:	August 6, 2013
60-day Review:	August 16, 2013

BACKGROUND

Angie and Rick Brown are requesting approval of a Major Site and Building Plan Review to allow the construction of a new home and garage at 8 Roanoke Road. A Major Site and Building Plan Review requires review and recommendation by the Planning Commission and final approval by the City Council. Because the subject property is legally non-conforming as pertains to required minimum net lot area, the applicants are also requesting approval of a conditional use permit to be able to build a single family dwelling on a substandard lot.

The subject property is currently undeveloped, and in addition to the proposed home, the applicants will construct a driveway, septic system, and well. The proposed home is a single story rambler with a finished basement. The home will have a building footprint of approximately 2,888 square feet in area, in addition to an attached garage approximately 884 square feet in area. The following is a description of the floor area of the proposed home:

	<u>House</u>	<u>Garage</u>
Basement Floor:	2,888 square feet	
First Floor:	2,888 square feet	884 square feet
Total Floor Area:	5,776 square feet	884 square feet

Sunfish Lake Zoning Ordinance Section 1202.02.F defines the gross floor area of a building as the floor area exclusive of the basement or cellar. Our ordinance does not provide a definition that distinguishes basements from cellars, as such the planning commission may exclude the basement from the gross floor area of the house.

APPROVALS REQUIRED	
Major Site and Building Plan Review	To permit the construction of a new house and garage at 8 Roanoke Road.
Conditional Use Permit	To permit the construction of a single family dwelling on an undeveloped, legally non-conforming lot, as pertains to lot area.

Attached for reference:

Exhibit A: Site Survey
Exhibit B: Site Layout Plan
Exhibit C: Building Elevations
Exhibit D: Foundation Plan
Exhibit E: First Floor Plan
Exhibit F: Building Sections
Exhibit G: Site Aerial Image
Exhibit H: Deck Elevation and Plan
Exhibit I: Lighting Plan and Cut Sheets
Exhibit J: Engineers Report Dated June 2, 2013

ISSUES ANALYSIS

Major Site and Building Plan Review

The property at 8 Roanoke Road is zoned R-1, Single Family Residential and is also within the Shoreland Overlay District surrounding Horseshoe Lake, though it is not a riparian lot. The following table illustrates the application of both the R-1 District and Shoreland Overlay District requirements to the property.

R-1 District Standards	Required	Proposed	Compliant
Lot Area Requirement	2.5 net acre	1.7 net acre	No**
Front Setback (north – setback to the public street.)	100 feet	est. 102 feet	Yes
Side Setback (west - east)	50 feet	est. 50 - 145 feet	Yes
Rear Setback (south)	50 feet	est. 85 feet	Yes
Front Accessory Setback	100 feet	N/A	Yes
Side Accessory Setback	25 feet	N/A	Yes
Rear Accessory Setback	25 feet	N/A	Yes
Maximum Building Coverage	10%	4%	Yes
Building Height Limitation (height above average existing grade)	30 feet	29.85 feet	Yes

Shoreland Overlay District Standards	Required	Proposed	Compliant
Buildable lot area above OHWM*	2.5 acres	2.5 acres	Yes
Frontage on improved public street/private road (cul-de-sac)	50 feet	est. 70 feet	Yes
Lot width at building setback line	200 feet	est. 250 feet	Yes
Lot width at OHWM* of abutting water body	150 feet	N/A	N/A
Building setback from OHWM*	200 feet	N/A	N/A
Building setback from property line located adjacent to street	100 feet	est. 102 feet	Yes
Maximum lot coverage by impervious surface	30%	6%	Yes
Surface building side yard setback	50 feet	est. 50 - 145 feet	Yes
Sewage system setback from OHWM*	150 feet	N/A	N/A

* OHWM (Ordinary High Water Mark)

** Per Ordinance requirements, as described in Section 1215.02.L.1, the applicants are requesting a conditional use permit to be able to build a single family home on an undeveloped, legally non-conforming lot of record.

Lot Area Requirements. The subject property is an undeveloped, legally non-conforming lot of record with regards to net lot area. The R-1 District requires a net lot area of 2.5 acres (excluding wetlands, drainage ways, and steep slopes in excess of 12% grade). The parcel is approximately 1.7 acres in net lot area, due to a significant area of steep slopes on the southern portion of the lot. Zoning Ordinance Section 1215.02.L.1 states that “legal, non-conforming, vacant, or redeveloped substandard sized lots of record may be developed for single family detached uses upon approval of a conditional use permit,” and requires the following conditions to be met:

a. The lot in question was legally established in accordance with Ordinance requirements existing at the time of its creation and is a separate, distinct tax parcel.

Comment: The subject property was platted in 1991, and the R-1 District net lot area requirement was not established until 2000, in which case the parcel would have been legally established in accordance with Ordinance requirements existing at the time.

b. The lot in question is similar in size and characteristics to and not highly divergent from other lots immediately abutting or in the adjacent area.

Comment: The subject property is similar in size and characteristics to adjacent lots, which run between 2.9 acres and 3.3 acres in size, and are similarly tree covered.

c. The lot in question has frontage on a public or private street.

Comment: The subject property has frontage on Roanoke Road.

d. Public health concerns (potable water and sanitary sewer) can be adequately addressed.

Comment: The applicants have worked with a surveyor and a septic contractor to propose the location of a new well and septic system on the site.

e. The setback and yard requirements as determined by the City Council [to be either
(1) those established as part of the applicable Zoning District; or
(2) those measurements which are common to immediately abutting properties]

can be achieved while simultaneously resulting in development which complies with the character and quality of the immediate area and the objectives of the City's Comprehensive Plan and Zoning Ordinance.

Comment: The subject parcel is able to meet all other R-1 District and Shoreland Overlay District setback requirements.

f. The lot in question and related potential development is evaluated based upon criteria outlined in Section 1204, Subd. 2.F. and is found to be acceptable per these standards.

Comment: An analysis of the proposed project in relation to criteria provided for approval of a conditional use permit in Section 1204.02.F of the Zoning Ordinance is provided below.

Conditional Use Permit.

Section 1204.02.F. The Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

1. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.

Comment: The proposed single family home is an allowed use in both the R-1 Single Family Residential District and the Shoreland Overlay District. Further, the proposed home is anticipated to satisfy the following housing policies, as provided in the Comprehensive Plan:

- *Development shall respect natural contours, enhancing site orientation while minimizing terrain modification.*
- *New housing shall meet established zoning and building performance standards.*
- *New construction shall be of a type and style such that it is not so dissimilar with exiting architecture that it would adversely affect adjacent property values or significantly alter continuity.*

2. The proposed use's compatibility with present and future uses of the area.

Comment: The Development Potential map, provided in the Development Framework of the Sunfish Lake Comprehensive Plan, identifies the subject property as a single family lot surrounded by several other single family lots. The applicants are proposing the lot for single family residential use, as guided.

3. The proposed use's conformity with all performance standards contained herein.

Comment: A review of the major site and building plans ability to meet required Zoning Ordinance performance standards is provided in this report.

4. The proposed use's effect on the area in which it is proposed.

Comment: The proposed single family home will result in the removal of very little existing site vegetation, so that impact to the site's natural systems should be minimal. Further, the proposed home design is compatible with that of surrounding homes.

5. The proposed use's impact upon property values in the area in which it is developed.

Comment: The proposed home is not anticipated to negatively impact property values in the area in which it is developed.

6. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.

Comment: Traffic generated by the proposed single family residential use is not anticipated to exceed that generated by surrounding properties, and as such should not exceed the capability of Roanoke Road to continue to serve residences.

7. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Comment: No additional public streets or utilities are required in association with the proposed project. The subject property abuts an existing public street, and the applicants are proposing to install their own well and septic systems.

Building Height. According to the Ordinance no building structure shall exceed two and a half stories or 30 feet in height above existing grade (measured from the average existing ground level). According to the submitted plans, the average existing ground elevation around the proposed home is 987.75 feet in elevation, so that any new structure should not exceed 1017.75 feet in elevation, or 30 feet. The top of the proposed principal building does not exceed 1017.60 feet in elevation, with a total building height of 29.85 feet, meeting the R-1 District 30 foot height limit.

Building Materials. The home and attached garage will be constructed of a combination of hardy plank siding and stone veneer, both approved exterior building

finishes, and the roof will be composed of architectural shingles. The foundation walls of the principal building will consist of concrete block, and the garage will sit on a poured concrete slab.

The City Building Inspector has reviewed the plan set and has no comments regarding this application. A more thorough Building Code review will be conducted with the building permit application. The building plans were also reviewed against the Sunfish Lake Design Guidelines, and were found to successfully meet the standards set forth therein. A discussion of proposed improvements in relation to the Design Guidelines is provided in the Site and Building Evaluation Criteria discussion later in this report.

Accessory Buildings. An attached garage not exceeding 1,250 square feet (first floor) shall be considered an integral part of the principal building. The applicants are proposing an 884 square foot attached garage, which meets ordinance size requirements. No additional detached accessory structures are being proposed.

Placement and Design of Roads, Driveways, and Parking Areas. According to the Ordinance, private roads and parking areas shall be designed to take advantage of natural vegetation and topography to achieve maximum screening from view from public waters. The driveway and garage are located at the north end of the subject property, a significant distance from Horseshoe Lake to the south. The driveway abuts Roanoke Road, an existing public street right of way, and runs approximately 100 feet into the site where it meets the garage. The driveway maintains a minimum width of 15 feet, which is sufficient to accommodate emergency vehicles.

The proposed parking area and drive meet the design standards listed in Section 1223.02 of the Zoning Ordinance, including providing bituminous surfacing and a buffer of at least 25 feet between the property line and the parking area.

Lighting. Exterior lighting of homes or property is allowed as necessary for safety purposes provided the impact on surrounding properties is minimized and it is in compliance with Section 1216.06 of the Zoning Ordinance, which states the following:

- Any exterior lighting shall be arranged as to deflect light away from any adjoining residential property;
- Direct or sky-reflected glare (e.g., up lighting and flood lighting) shall not be directed into any adjoining property; and
- The source of lights shall be hooded or controlled in some manner so as not to light adjacent property.

The applicants' exterior lighting plan includes eight cylindrical outdoor wall lights (located at the front entrance, around the garage, and above the proposed deck), and three recessed soffit lights (located above the front porch). The proposed cylindrical wall lights are neither hooded nor recessed, and do direct light upwards. Additionally, they do not appear to provide fogged glass to reduce the sky-reflected glare. However, the cylindrical lights are relatively small in size (12" height by 4" width) and use moderate wattage (60w), and as such the applicants are requesting consideration of the fixtures by the Planning Commission. If the Planning Commission deems the cylindrical

lights as inappropriate, the applicants are requesting consideration of an alternative hooded light fixture. The second wall light option is a bit larger (14" height by 7" width), but provides a black hood and milked glass, features which will help to control glare. The proposed soffit lights are recessed and provide albalite lens to help diffuse light, and as such meet all ordinance requirements pertaining to outdoor lighting.

Upon installation all lights or combination of lights which cast any light on residential property or over public water shall not exceed one foot candle (meter reading) as measured from the edge of water abutting the subject property. This may be demonstrated by providing evidence of at which distance out from proposed light fixtures meter readings will fall below the required one foot candle measurement.

Grading and Drainage.

Steep Slopes. The proposed grading plan includes work within areas of steep slopes (in excess of 12%). The City Engineer has had the opportunity to review proposed grading on the site and has not provided additional recommendations with regards to steep slopes at this time.

Topographic Alteration and Erosion Control. Re-grading of the site will occur in the area of the proposed driveway, home and garage. The applicants have provided some information on erosion and sediment control, including indicating an extent of erosion control fence (silt fence) to surround the area of construction, and have indicated that all areas of the site disturbed by construction activities will be restored to a sod ground cover. This restoration should occur immediately after construction on the site is completed. In addition, the applicants have indicated two locations for a soil stock pile, both of which are to be surrounded with silt fencing to control runoff.

In review of proposed grading, the City Engineer has indicated that positive drainage is provided away from the home foundation. However, he is requesting the applicants indicate additional grades along the west property line and on either side of the proposed driveway so that it is possible to determine that drainage will occur to the south (rather than towards the adjacent property to the west), and to determine whether a driveway culvert is necessary. If a culvert is necessary, the applicants will need to provide the location, size, invert elevation, and type of material for the culvert.

In review of proposed erosion control measures, the City Engineer is requiring that the applicants provide the following:

- 1) The proposed stockpile locations be moved to be within 50 feet of a driving surface.
- 2) The applicants indicate the location of a rock construction entrance of approximately 50 feet in length and 20 feet wide at a point where the contractor is entering the paved surface and leaving the exposed dirt surface.

- 3) The applicant describe the area of the land to be disturbed. A *National Pollutant Discharge Elimination System NPDES Construction permit* will be required if over an acre of land it to be disturbed.

Stormwater Management. Stormwater will drain away from the proposed home and driveway. Stormwater movement to the north of the house will drain down the driveway towards the Roanoke Road right of way. Stormwater movement to the west and south of the house will drain towards a tree covered low area located in the southwest corner of the property. Stormwater movement to the east of the home will drain towards a grassed low area in the northeast corner of the lot.

The Shoreland Overlay District limits the impervious surface coverage of lots to not exceed 30% of the lot area. The proposed home and garage will result in approximately 6% impervious surface coverage on the site. The proposed impervious coverage meets Ordinance standards.

Interception of stormwater movement during construction is essential, especially given the amount of grading that will occur on the site. In addition, the undeveloped site currently has no impervious surfaces, so that the impact of creating areas of impervious surface should be carefully considered, especially in regards to any requirement for the installation of stormwater treatment areas. The City Engineer is requiring additional information pertaining to stormwater management, drainage, and impervious surface on the subject property. The applicants need to provide the following to the City Engineer for review, prior to moving ahead with a building permit:

- 1) A description of the existing and proposed impervious drainage areas.
- 2) The location of septic systems and wells on both the subject properties and adjacent properties to within 150 feet of the project site.
- 3) The location, size, and elevations of any existing utilities, drainage control devices, or underground facilities on or adjacent to the subject property, including drainfields and wells within 50 feet of the property lines on adjacent properties.
- 4) Location and dimensions of existing storm water drainage systems and natural overland drainage areas and patterns, including a calculation (by a qualified engineer) of storm water runoff before construction.
- 5) A drainage plan of the developed site, prepared by a qualified engineer, delineating areas in which direction and at what rate stormwater runoff will be conveyed from the site and setting forth the areas of the site where stormwater will be allowed to collect.
- 6) Location, size, species, and present condition of all significant trees/vegetation on site.

Landscaping/Fencing/Screening.

Fencing. The applicant is proposing two retaining walls as part of the project. Two small retaining walls, measuring approximately 15 feet in length by 3'6" in height, are proposed on the west side of the home, and one long retaining wall, measuring approximately 60 feet in length by 3'6" in height, is proposed on the south side of the home. If retaining walls are shorter than four feet in height, applicants are not required to provide retaining wall design details by a registered engineer. The City Engineer has not indicated any concerns regarding grading around the proposed retaining walls. No additional fencing is proposed.

Landscaping. The applicants are proposing to remove only one tree from the site in the course of constructing the proposed home, garage and driveway. The removed tree would not be considered a significant tree by ordinance standards, and as such, its removal is not regulated by the City. All other existing tree coverage on the site is to be maintained in its current state. The applicants have indicated the installation of silt or construction fencing around trees to be saved in the immediate area of construction. It is also recommended that the applicants clearly mark the single tree intended for removal, so as to differentiate it from the trees intended to be preserved.

The applicants have provided a site layout plan indicating the installation of a Japanese Holly shrub in an edged landscaping area adjacent to the proposed home. Though additional shrubs are not illustrated on this plan, discussions with the applicants have revealed that they intend to install between 13 and 14 holly shrubs every three feet along the front expanse (north side) of the proposed home. In addition, the applicants have indicated the installation of sod twelve feet out from the home on all sides. This sod is in addition to sod ground cover for use in restoring areas disturbed during construction.

The City Forester has reviewed the applicant's submitted site plans and has no further recommendations in regards to tree removal, preservation, or installation on the site.

Septic Systems and Wells. The applicant indicated the location of a proposed primary and secondary septic system on the site. There are no existing septic systems on the currently undeveloped site.

Detailed construction plans and applicable permits will be required in conjunction with the permit application for the septic systems, and the applicant must further comply with the recommendations of the City Septic Systems Specialist pertaining to installation of the proposed septic areas.

In addition, the City Engineer is requiring that the applicants plan to install protective fencing around the perimeter of the primary and secondary drainfields, which needs to be installed prior to any heavy equipment onsite. Further, the size of the proposed well must be specified in the site plans, and the well must be installed by a licensed well driller according to Minnesota State Rules and Regulations.

Site and Building Plan Evaluation Criteria. As described in Section 1208.04 of the City Zoning Ordinance, the Planning Commission, as its basis of recommendation, and the City Council, as its basis for decision, shall evaluate the effects of the proposed site and building plans. This review shall include, but is not limited to, the following:

- A. Whether the proposed improvements are compatible and in harmony with the existing structures in the surrounding community.

Comment: The proposed single family home is a permitted use in the R-1 District. The proposed home is comparable in size to other single family homes in the community, and the site and building plans appear to comply with R-1 standards. In addition, the architecture is of quality design consistent with City Design Guidelines. The Planning Commission will need to make a finding as to whether this proposed home is compatible and in harmony with the surrounding community.

- B. Whether the proposed improvements preserve the character and nature of the surrounding community, including the natural landscape and woodland characteristics of the community.

Comment: The applicants make efforts to preserve the quality of the natural landscape on the property. The site has a significant amount of existing tree coverage, which is to be maintained in its current state. The applicants are proposing the removal of only a single tree in the course of construction.

The applicants do need to provide additional information as to stormwater management and drainage on the site, so that the City Engineer can make a determination that construction activities and any increase in impervious surface on the site is appropriate, and will not negatively impact adjacent properties or nearby water systems.

- C. Whether the proposed improvements are not constructed of unsightly, improper or unsuitable materials.

Comment: The exterior materials of the proposed house and garage meet Ordinance requirements, create aesthetic appeal, and otherwise maintain the character of the locality. Further, the home meets the requirements of the Sunfish Lake Design Guidelines, in that it:

1) Preserves sensitive areas during construction (applicants plan on installing silt and/or tree protection fencing during construction, plan on restoring exposed areas immediately after construction, will leave undisturbed a significant area of steep slopes on the site, and will integrate the proposed home into an existing area of tree coverage).

2) Is responsive to site conditions (home will be built at a higher elevation on the site, and will step down with the existing elevation change on the site)

3) Provides major architectural elements (a front porch and elevated entryway draws attention to the front entrance to the home).

4) Exhibits architectural character (the east elevation has minimum window openings, however the remainder of the home provides ample window and door openings to break up building faces; the home has window details (paned glass), deep roof overhangs, a hipped roof, etc.).

5) Uses attractive and complementary exterior finish materials (siding and stone veneer, which are typical exterior building finishes in the community).

- D. Whether the proposed improvements will not materially adversely affect any natural resources in the community, except when there is no feasible and prudent alternative to the proposed location of the improvements. For purposes of this clause, “natural resources” shall include, but not be limited to, all mineral, animal, botanical, air, water, land, timber, soil, quietude, recreational, historical, scenic and aesthetic resources.

Comment: The subject property is located within the Shoreland Overlay District for Horseshoe Lake. Future use of the lot shall make it a priority to consider the preservation of natural areas within the lot and the protection of water quality by minimizing the removal of vegetation and maximizing the control of stormwater runoff, erosion, and any other impactful water-borne substances associated with residential development (fertilizer and pesticides, automobile oils and fluids, etc.). A significant amount of grading will be taking place with the construction of the new home and driveway, so that it is of particular importance that erosion and sediment control measures be adhered to, in addition to any recommendations from the City Engineer as described in Exhibit J.

- E. Whether the proposed site and improvements shall have an appearance that will not have an adverse effect upon adjacent residential properties.

Comment: The proposed home and garage will be positioned at a high elevation on the property and will be newly visible to surrounding properties. However, this location generally limits the impact of the development on the overall site by locating structures and impervious surfaces nearest the public road and other development. In addition, the majority of existing tree coverage on the site will be maintained and can provide significant screening between the subject property and adjacent properties.

- F. Whether the proposed site improvement complies with drainage requirements, as provided in Section 1216.04 of the Zoning Ordinance.

Comment: The City Engineer has reviewed the proposed site improvements and provided comments in Exhibit J. He is requiring that the applicants demonstrate how they will meet the stormwater runoff management criteria for this project per City Zoning Ordinance requirements listed under Section 1216.04 Storm Water Management.

SUMMARY AND RECOMMENDATION

The applicants are requesting approval of major site and building plans to allow the construction of a new home and garage at 8 Roanoke Road, and a conditional use permit to allow construction of a single family residence on an existing non-conforming lot as pertains to minimum net lot area. Planning staff review of the applicant's site and building plans demonstrates that the proposed project can address Zoning Ordinance criteria pertaining to building setbacks, building height and design, landscaping, fencing, lighting, accessory buildings, and parking areas. However the City Engineer, whose report has been incorporated herein and attached as Exhibit J, is requiring the applicants provide additional drainage and stormwater management information prior to making a recommendation for approval on the project. The applicants have already moved ahead with making plan revisions based on the engineer's comments, and have indicated their intent to continue to work with the engineer in providing additional information as necessary. The engineer hasn't had the opportunity to review revised plans as of yet, and currently has no further feedback on the project. Based on these circumstances, planning staff recommends the Planning Commission take one of two actions on the application:

- 1) Approve site and building plans and the requested conditional use permit based on the conditions provided below, including requiring final review and approval of revised plans by the City Engineer prior to the applicants moving ahead with a building permit.
- 2) Table consideration of the application until the following Planning Commission meeting on August 21, 2013, which will provide an additional month for the City Engineer to review revised plans and requested stormwater and drainage information, as provided in his report dated June 2, 2013. If consideration of the application is tabled, planning staff will notify the applicants in writing that the initial 60 day review period has been extended to 120 days based on the need to gather additional information for review prior to approval.

Recommendation on the Requested Conditional Use Permit:

Planning staff recommends approval of the conditional use permit to allow the applicants to construct a single family residence on a substandard sized lot, based on the finding that:

- 1) The lot was legally established according to Ordinance requirements, and did not become legally non-conforming until a later date.
- 2) The lot is similar is similar in characteristic to adjacent single family residential properties.
- 3) The single family use on the subject property will not require the City to expand street, septic, or water infrastructure.

- 4) The single family home is able to meet basic lot width and setback requirements, and will be required to meet all performances standards provided for single family homes in the Zoning Ordinance.
- 5) The project satisfies the criteria for a conditional use permit provided in Section 1204.02.F of the Zoning Ordinance.
- 6) The proposed project meets all conditions for major site and building plan approval, as described below.

Recommendation on the Major Site and Building Plan Review:

Planning staff recommends approval of the Major Site and Building Plans based on the finding that the projects impact on site conditions related to vegetation, land alteration, and neighboring properties falls within the limits set forth in the Sunfish Lake Zoning Ordinance. Approval is based on the applicant's submitting revised plans or otherwise meeting the following conditions:

1. The applicants provide a revised layout plan indicating all proposed shrubs and ground covers to be installed for landscaping and soil erosion control.
2. The applicants shall provide proof that upon completion of installation of lights, all lights or combination of lights which cast any light on residential property do not exceed one foot candle (meter reading) as measured from adjacent property lines. This may be demonstrated by providing evidence of at which distance out from proposed light fixtures meter readings will fall below the required one foot candle measurement.
3. The applicants work with the City Engineer in providing additional stormwater management, drainage and grading information for review, as requested in the engineer's report dated June 2, 2013 (Exhibit J). Further, the applicants provide revised site plans to planning staff and the City Engineer for review, which shall address all other requirements described in the City Engineer's report, prior to moving ahead with a building permit.
4. The applicants must comply with the recommendations of the City Septic Systems Specialist pertaining to the installation of the proposed septic areas.
5. Prior to receiving a certificate of occupancy, the applicants must contact planning staff to arrange pre- and post-construction site visits, whereby staff can confirm that site and building plans and associated approval conditions have been implemented accordingly. The inspections are separate from other inspections that may be necessary by the City Building Inspector, City Septic System Inspector, City Engineer, or other

individuals. The cost of site inspections is \$75 each and payment of this amount shall be the responsibility of the property owner.

c: Cathy Iago, City Clerk
David Neameyer, City Building Official
Ron Wasmund, City Septic System Inspector
Don Sterna, City Engineer
Jim Naves, City Forester
Tim Kuntz, City Attorney
Angie and Rick Brown, Applicants
John Bennett, Representative of the Current Property Owner

ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minneapolis, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 www.advance.com

SURVEY FOR: **PRIMETIME CONSTRUCTION & PAINTING LLC**

SURVEYED: June 10, 2013

DRAFTED: June 10, 2013

REVISED: June 18, 2013 to show house lowered 2 feet to meet height limits.

LEGAL DESCRIPTION:

Lot 4, Block 1, Zelander Acres No. 2, Dakota County, Minnesota.

SCOPE OF WORK:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing existing spot elevations necessary to show elevation differences on the site.
5. While we show a proposed location for this home, we are not as familiar with your house plans as you and your architect and/or builder are. Check our proposed location and siting of the home and yard grades carefully to see that they match your plans before construction begins. Also, we are not as familiar with local codes as the local building official and zoning official in this community are. Be sure to show this survey to these officials, or any other officials that may have jurisdiction over the home and its siting, and obtain their approvals before beginning construction.
6. We have provided a benchmark for your use in determining elevations for construction on this site, use that benchmark and nothing else for that purpose. Check the elevation of at least one other feature shown to verify your elevations.

STANDARD SYMBOLS & CONVENTIONS:

" " Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted. Proposed elevations are shown with a box around them, while existing elevations are shown without a box. Arrows indicate the proposed flow of storm water on the site.

CERTIFICATION:

I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and Licensed Land Surveyor under the laws of the state of Minnesota.

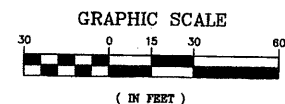
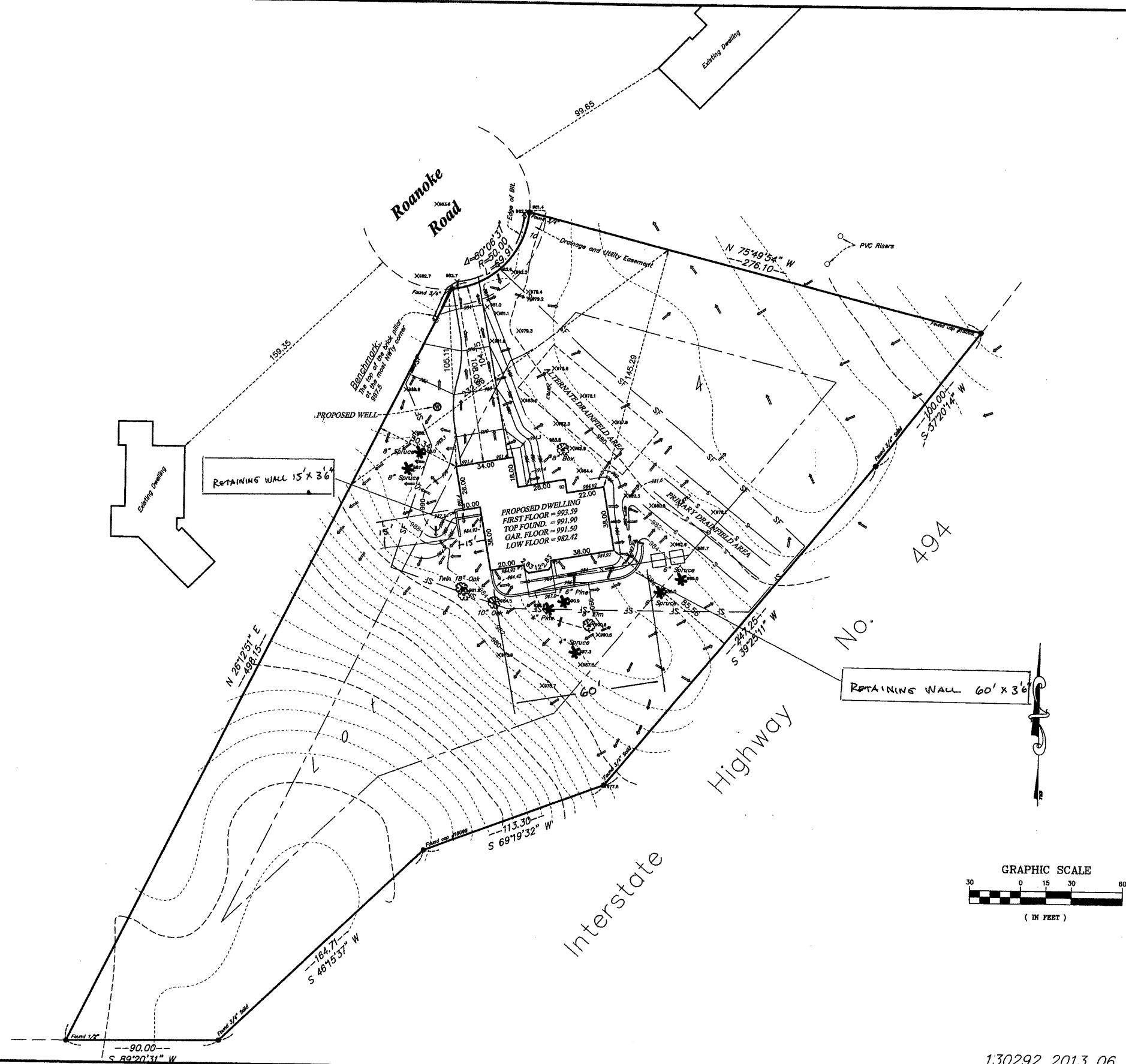
Signature: James H. ParkerTyped Name: James H. ParkerDate: May 22, 2013Reg. No. 9235**Building height calculations**Average existing elevation at corners $(988 + 988.7 + 987.8 + 986.5)/4 = 987.75$ Limit on building height $987.75 + 30 = 1017.75$

Top of foundation = 991.90

Top foundation to peak per house plans = 25.7

Proposed peak of roof elevation = $991.90 + 25.7 = 1017.60 < 1017.75$ OK**LEGEND**

- DENOTES EXISTING SPOT ELEVATION 
- DENOTES PROPOSED SPOT ELEVATION 
- DENOTES EXISTING CONTOUR LINE 
- DENOTES PROPOSED CONTOUR LINE 
- DENOTES PROPOSED STORM FLOW 
- DENOTES PROPOSED SILT FENCE 



130292 2013 06 18 A JP

[illegible]

PLANT SCHEDULE
A-1 JAPANESE HOLLY SHRUB
2 GALLON
EVER-GREEN

SCREENING

SOFFIT LIGHTING
OVER DECK

SAD

DEK

500

SCREENING



SCREENING

CYLINDER WALL LIGHTING

LANDSCAPE ESSAYS

EXISTING IMPERVIOUS SURFACE 0.87%
PROPOSED IMPERVIOUS SURFACE 2.39%

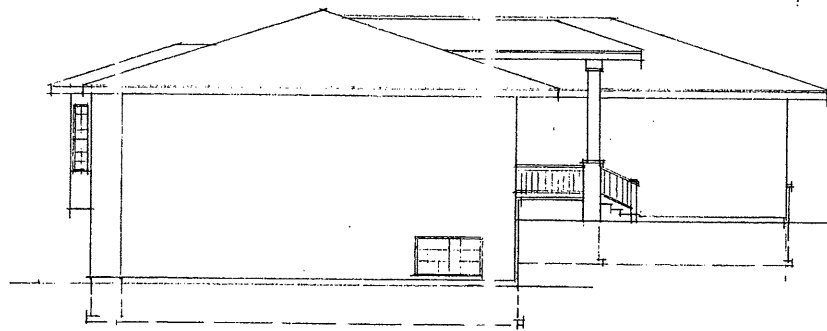
EXISTING
SPACE TREES

LANDSCAPE EDITING

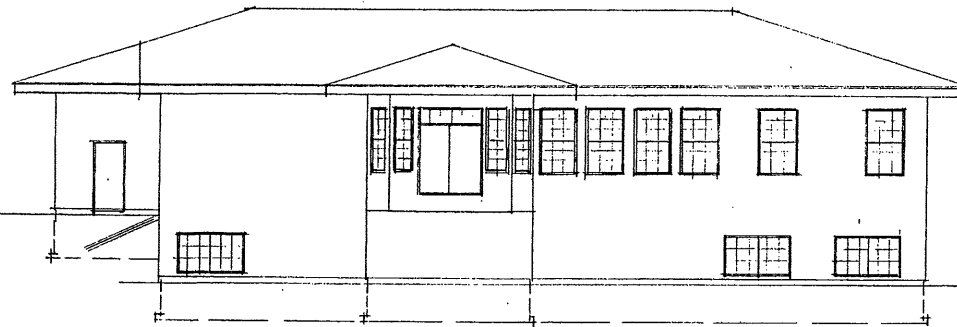
WELL LOCATION
WITH BOULDER PROTECTION

INSIGNIFICANT TREE TO BE REMOVED

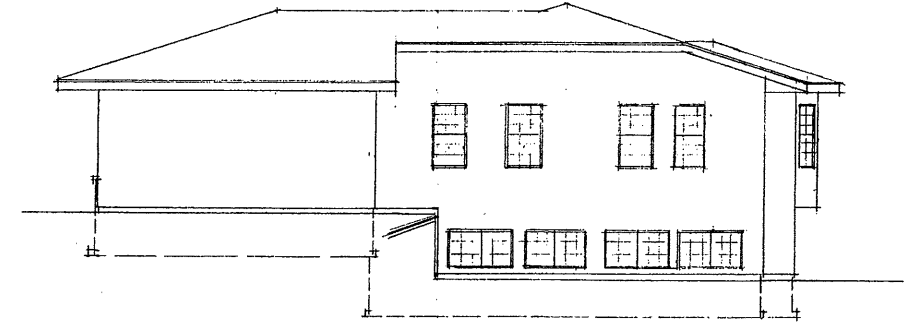
EXHIBIT B



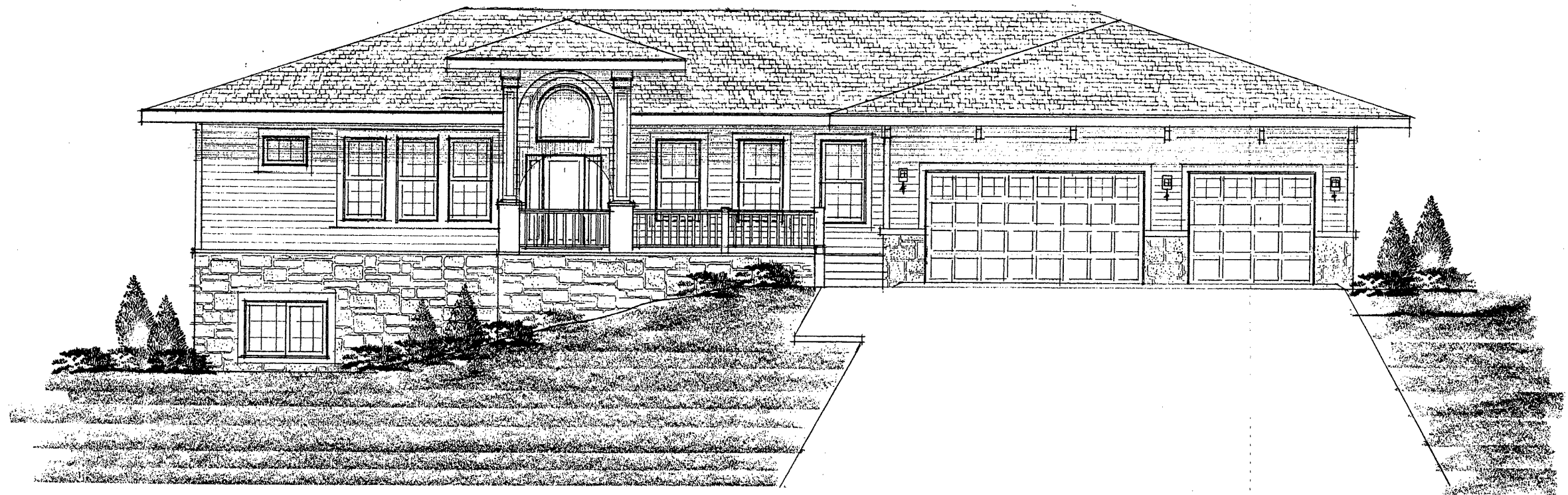
LEFT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



RIGHT ELEVATION 1/8"=1'-0"



EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE; HOWEVER, THEY WERE PREPARED UPON REQUEST BY DRAFTSPERSONS WHO ARE NOT REGISTERED ARCHITECTS OR ENGINEERS AND NO WARRANTIES ARE EXPRESSED OR IMPLIED. THEY ARE INTENDED AS A GUIDE FOR PERSONS WHO ARE KNOWLEDGEABLE ABOUT CONSTRUCTION PRACTICES. IT IS THE RESPONSIBILITY OF THE BUILDER, OWNER OR USER OF THESE PLANS TO VERIFY ALL DIMENSIONS, DETAILS, ELEVATIONS, SITE CONDITIONS, SPECIFICATIONS, AND STRUCTURAL COMPONENTS INCLUDING THE APPLICATION AND INSTALLATION OF CORRECT MATERIALS. DRAFTING & DESIGN, LLC, ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, JOB SITE CHANGES OR IMPROPER CONSTRUCTION METHODS. ALL WORK TO BE DONE IN COMPLIANCE WITH APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

RIMBLER - 2000 SQ. FT.
3 BR - 2 1/2 BA.

BROWN RESIDENCE

DATE 6.8.2013

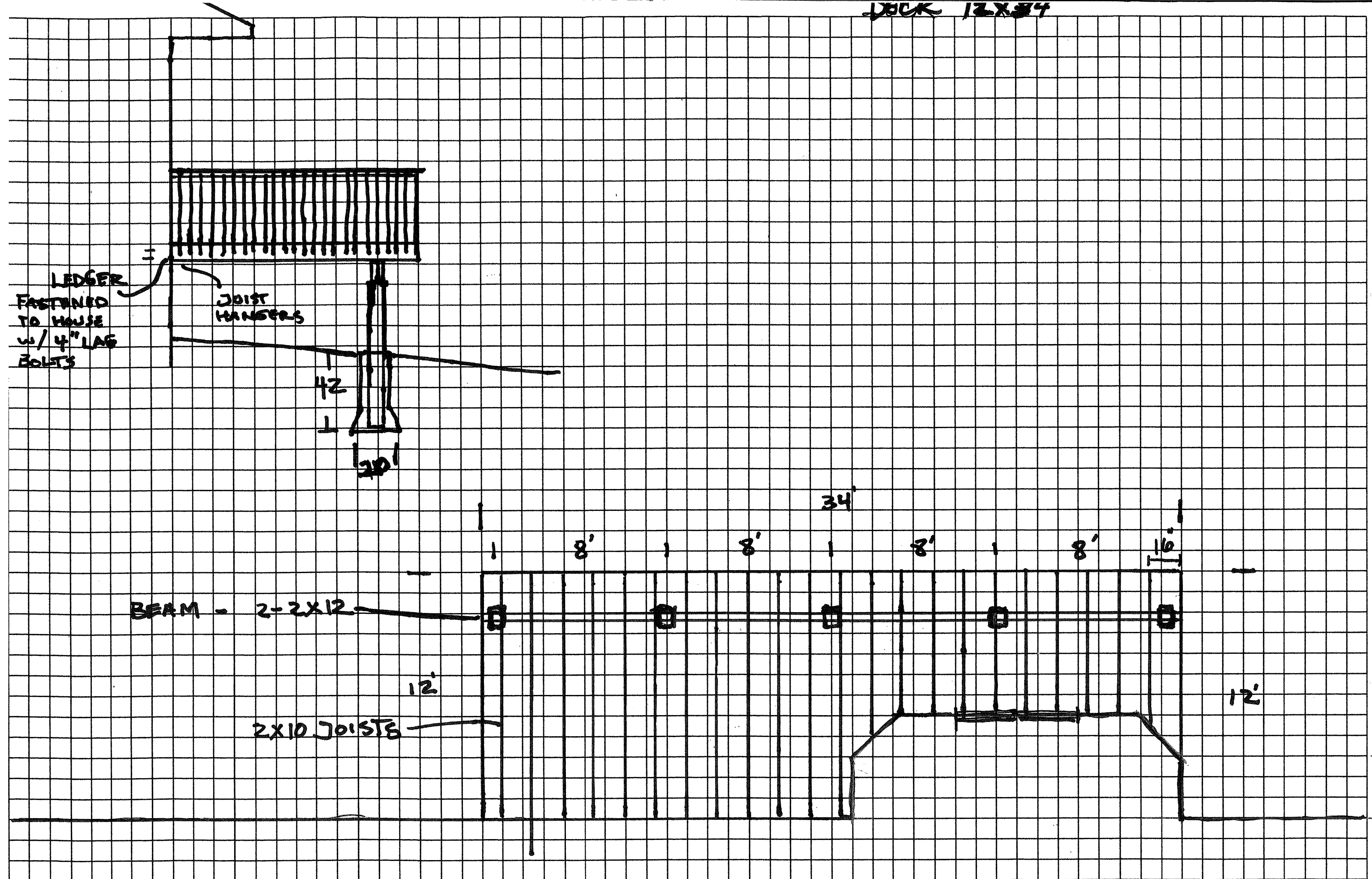
Drafting & Design LLC
Dianne Daniels - Forest Lake, MN - (651) 464-7285

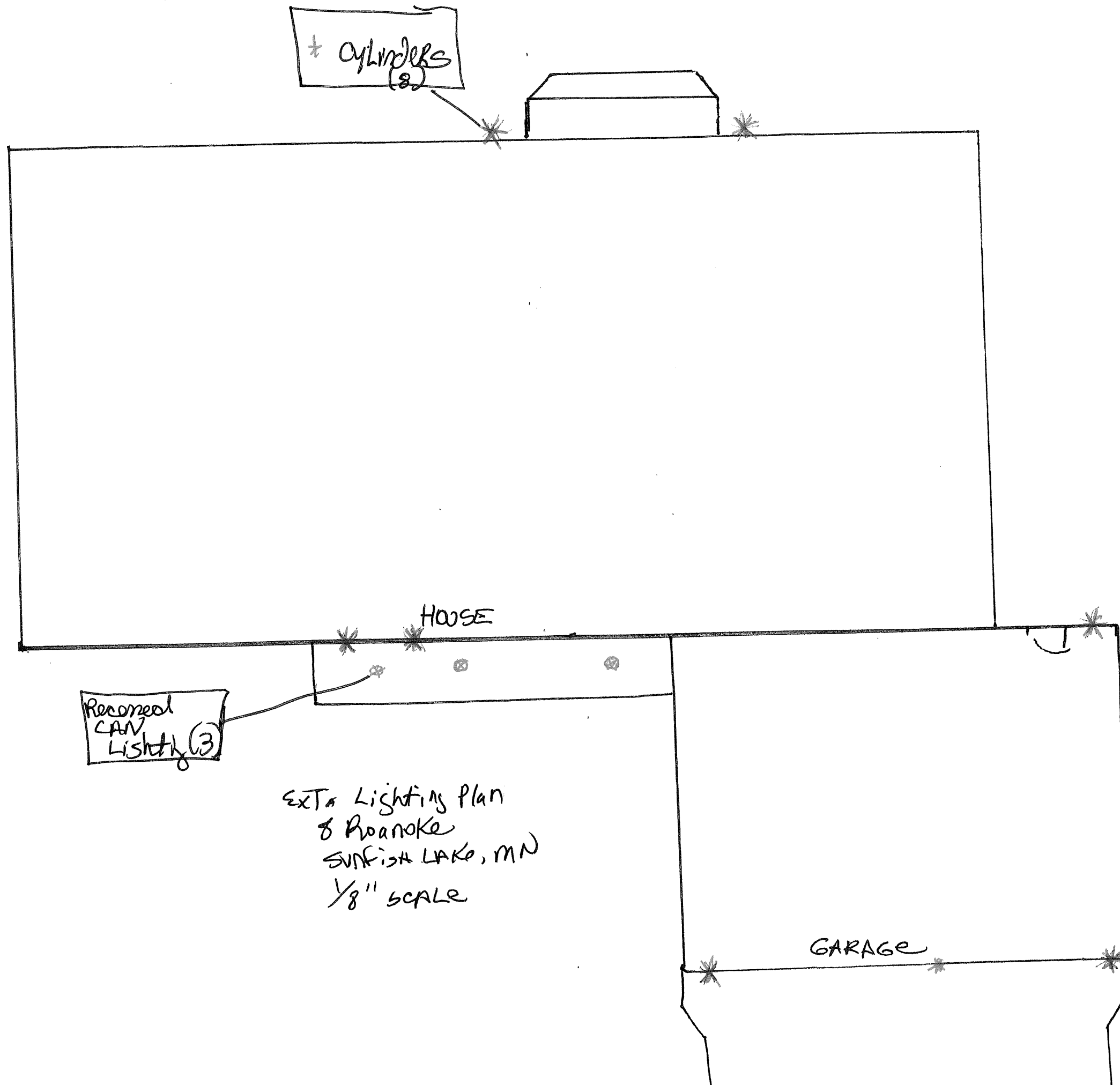
PLAN 13043
PAGE 1 of 4



Street

DOCK 12X34





EXTA Lighting Plan
8 Roanoke
SUNFISH LAKE, MN
1/8" SCALE



Dimensions: 12Hx4Wx7D

Type- cylindrical outdoor wall light

Total Light Wattage: 60W

Product Description —

The Marquis Lighting Collection 2 light 12" black finish outdoor wall light is complemented by posh styling. The incandescent bulb(s), give off the ideal amount of light to accent your area of need perfectly.

- Color Finish: Black
- Shade Description: N/A
- Included Accessories: Installation Hardware
- Number of Bulbs Required: 2 Medium Base Bulb(s)
- Bulbs Included: No

Product Specifications —

Product Height: 12"

Product Depth: 7"

Hardwire or Plug-in: Hardwire

Color/Finish: Black

Shade/Diffuser Finish: Black

Number of Bulbs Required: 2

Recommended Bulb Type: A19

Package Contents: Mounting hardware, installation instructions and fixture

Product Width: 4"

Product Weight: 2LBS

Product Material: Metal

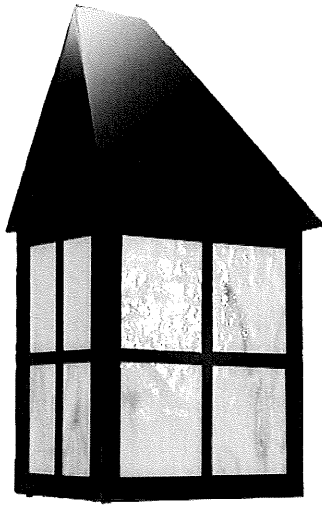
Shade/Diffuser Material: N/A

Shade/Diffuser Diameter: 4"

Bulbs Included: No

Total Light Wattage: 60W

UL/CSA/ETL Listed: UL Listed and CSA Listed



Dimensions: 14Hx7Wx4D
Vendor: Photon Lighting
Total Light Wattage: 60W

Product Description —

The Marquis Lighting Collection 1 light 14" black finish outdoor wall light is complemented by honey milk glass. The incandescent bulb(s), give off the ideal amount of light to accent your area of need perfectly.

- Color Finish: Black
- Shade Description: Honey Milk Glass Shades
- Included Accessories: Installation Hardware
- Number of Bulbs Required: 1 Medium Base Bulb(s)
- Bulbs Included: No

Dimensions: 14Hx7Wx4D

Vendor: Photon Lighting

Product Specifications —

Product Height: 14"

Product Depth: 4"

Hardwire or Plug-in: Hardwire

Color/Finish: Black

Shade/Diffuser Finish: Black

Number of Bulbs Required: 1

Recommended Bulb Type: A19

Package Contents: Mounting hardware, installation instructions and fixture

Product Width: 7"

Product Weight: 4.08LBS

Product Material: Metal

Shade/Diffuser Material: Glass

Shade/Diffuser Diameter: 7"

Bulbs Included: No

Total Light Wattage: 60W

UL/CSA/ETL Listed: UL Listed and CSA Listed

RECESSED SOFFIT LIGHTING SPECS



Utilitech 6-in White Shower Recessed Lighting Trim

SPECIFICATIONS

Manufacturer Color/Finish	White
ENERGY STAR Qualified	No
Color/Finish Family	White
Inside Diameter (Inches)	8.0
Outside Diameter (Inches)	8.0
UL Safety Listing	Yes
CSA Safety Listing	No
ETL Safety Listing	No
Package Quantity	1.0
Includes Lens	Yes
Includes Reflector	No
Collection Name	N/A
Airtight	Yes

6-in White Recessed Lighting Trim

- This trim is designed for easy installation and is *wet location listed*
- Includes albalite lens to *softly diffuse light*

MANUFACTURER: Utilitech

Memorandum

To: *Michelle Barness and Alan Brixius
Northwest Associated Consultants*

From: *Donald W. Sterna, PE
WSB & Associates, Inc.*

Date: *June 2, 2013*

Re: *Site and Building Plan Review
8 Roanoke Road
City of Sunfish Lake, MN
WSB Project No. 1629-28*

Project Background

The applicant is proposing to construct a new home, septic drain field system and well along with the necessary grading and driveway construction. The following review is only for the engineering, storm water management, and site grading issues. The building compliance and/or septic and well requirements will be handled by the City planners, and Building and Septic inspectors.

The existing and proposed impervious drainage areas were not listed and this information must be provided (only a percentage of increased impervious was given). Since the application is proposing to increase the impervious surface, the applicant shall demonstrate how they will meet the storm water runoff management criteria for this project per City Zoning Ordinance requirements listed under Section 1216.04 Storm Water Management. This document is available on the City's website.

In accordance with the Site Plan Building Permit Application Procedures Checklist the following items need to be provided:

- Site survey must show layout of buildings, old foundations, septic systems, wells, and other site elements which currently exist on the property and those on adjacent properties to within 150 feet. This appears to be partially done.
- Location, size, and elevations of any existing utilities, drainage control devices, or other underground facilities on or adjacent to the property, **including drainfields and wells within 50 feet of the property lines on adjacent lands.** The west side property is the most critical.
- Location and dimensions of existing storm water drainage systems and natural overland drainage areas and patterns, including a calculation (by a qualified engineer) of storm water runoff before construction.
- A drainage plan of the developed site, prepared by a qualified engineer, delineating areas in which direction and at what rate stormwater runoff will be conveyed from the site and setting forth the areas of the site where stormwater will be allowed to collect.
- Location, size, species, and present condition of all significant trees/vegetation on site. Tree locations should be illustrated on the grading plan including those trees proposed to be removed.

- Setback lines appear to have been shown on the plans, but please label these.
- Please fix the line in legend for Silt Fence. This is incorrect.
- In lieu of silt fence, the applicant may want to consider a straw bio-roll (staked) to minimize the land disturbance caused by installing and removing silt fences.
- Please show the type of driveway material, bituminous, concrete, etc.

Site Grading and Driveway

The applicant's proposed site grading shows a positive slope away from the house foundation, therefore, should require no modifications to the proposed grading plan around the house. However careful attention to the grading must be maintain along the west property line so drainage is directed south and not west onto the adjacent property. Sufficient grades to the east and west of the driveway are not shown to determine if a driveway culvert is necessary. Please provide this information and if a culvert is necessary specify the size, invert elevation and type of material.

Erosion Control

The proposed, temporary stockpile location(s) need to be at locations that are within 50 feet of a driving surface for the Sunfish Lake building ordinances. Please revise these locations. The applicant will need to construct and maintain a rock construction entrance of approximately 50 feet in length and 20-feet wide at a point where the contractor is entering the paved surface and leaving an exposed dirt area to minimize tracking of material off the project site. This must be shown on the plans.

Please provide the area of land to be disturbed. A National Pollutant Discharge Elimination System NPDES Construction permit will be required if over an acre of land it to be disturbed.

Sanitary Sewer and Well

The Contractor will need to install, prior to any heavy equipment onsite, the protective fencing around the perimeter of the primary and secondary septic drain field to protect them from soil compaction and/or destruction. In accordance with the Site Plan Building Permit Application Procedures Checklist, the size of the proposed well must also be specified and installed by a licensed well driller according to Minnesota State Rules and Regulations.

Conclusion and Recommendations

Based upon our review of the proposed site and grading plan for the proposed new home at 8 Roanoke Road proposed site and grading plans appear to be consistent with the City's requirements, with the exception of the above-noted items in this memorandum. Storm water management improvements are determined necessary due to increased run-off rates and increased impervious surface and the plans must be modified to show how these are to be handled. Therefore, we hereby find the proposed plans not to be in accordance with City requirements and recommend denial from an engineering standpoint for this project until these items are addressed. We are requesting a new set of plans addressing these comments and drainage calculations be resubmitted to our office prior to final issuing of the building permit on the project.



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4800 Olson Memorial Highway, Suite 202, Golden Valley, MN 55422
Telephone: 763.231.2555 Facsimile: 763.231.2561 planners@nacplanning.com

PLANNING REPORT – Site and Building Plan Review & CUP Addendum

TO: Sunfish Lake Mayor and City Council

FROM: Michelle Barness

DATE: July 31, 2013

RE: Sunfish Lake – 8 Roanoke Rd. – Site and Building Plan Review & CUP

FILE: 211.01 – 13.06

Attached are two additional items relating to the 8 Roanoke Road site and building plan and CUP application. The applicant's original site and building plans have been included as exhibits with the planning report (dated July 10, 2013). In addition, an email memo from the City Engineer (dated July 24, 2013) is being provided. The email details the engineer's final recommendations after working with the applicants to address issues identified in his review of submitted plans. Also provided for your consideration is revised site plans from the applicant (with revisions dated June 18, 2013) which address initial City Engineer recommendations (see Exhibit J in the planning report for the City Engineer's original report).

- c. David Neameyer, Building Inspector
Don Sterna, City Engineer
Jim Naves, City Forester
Tim Kuntz, City Attorney
Cathy Iago, City Clerk

Michelle Barness

From: Tom Voll [TVoll@wsbeng.com]
Sent: Wednesday, July 24, 2013 2:28 PM
To: Michelle Barness
Cc: Jim Parker (jim@advsur.com); Don Sterna
Subject: RE: Sunfish Lake - 8 Roanke Rd. Major Site Plan Review

Hi Michelle,

They met most of the comments on our original review memo dated 6-2-13. On 7-19-13 over the phone I spoke with Jim Parker Advance Surveying and Engineering Co. and gave him the following comments to address:

- Identify the significant trees that are going to be impacted by construction (including and drip lines of the trees within the construction limits) and also which ones were going to be removed. He didn't have to label trees outside of the construction area but should still show the tree lines.
- Should label and show any trees that are to be save that may be close to construction and show tree protection fencing around these as necessary
- Provide and label areas for each of the specific drainage areas for both the existing E1-E3 drainage areas and also for the proposed P1-P3 drainage areas. Also make these lines delineating these drainage areas darker so they can be clearly seen.
- Label the total area to be disturbed. If over and acre then a NPDES Construction permit will be required per MCPA requirements
- Revise the grading plan back to the original version and I didn't think trying to get the drainage from the west side of the house around to the back to the east side would work very well or could be graded without a potential for a low spot. Also future improvements may block this and could cause ponding issues for the homeowner. He should also revise his drainage calculations accordingly.
- The infiltration/retention area they have proposed on the north east side of the site will meet their storm water requirements and is a good solution with minimal impacts to the existing trees and ground. It takes advantage of the natural drainage and existing grades.
- Place construction or silt fence around the septic drain fields and label them on their plans to protect and keep construction equipment off.
- Move the alternate septic drain field so it was 50' from the water well per code and also provide a dimension showing this.
- Place silt fence or straw biorolls around temporary stockpiles
- Put a note on the plans next for the retaining wall that it is less than 4' high. If it is greater than 4 feet then this must be designed by a MN registered professional engineer with shop drawings and calculations submitted to the City for review before a building permit is issued

If you would like a memo for this please let me know otherwise I will just consider this email good and will check their plans once they have them revised.

Thanks,

Tom Voll, PE
Senior Project Manager
d: 763-287-7175 | c: 612-360-1302
WSB & Associates, Inc. | 701 Xenia Avenue South, Suite 300 | Minneapolis, MN 55416



engineering
planning
environmental
construction

We're proud to be a
Top 100 Workplace.



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ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7564 Fax (952) 225 0502 www.advsur.com

SURVEY FOR: PRIMETIME CONSTRUCTION & PAINTING LLC

SURVEYED: June 10, 2013

DRAFTED: June 10, 2013

LEGAL DESCRIPTION:

Lot 4, Block 1, Zehnder Acres No. 2, Dakota County, Minnesota.

SCOPE OF WORK:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing existing spot elevations necessary to show elevation differences on the site.
5. While we show a proposed location for this home, we are not as familiar with your house plans as you and your architect and/or builder are. Check our proposed location and siting of the home and yard grades carefully to see that they match your plans before construction begins. Also, we are not as familiar with local codes as the local building official and zoning official in this community are. Be sure to show this survey to these officials, or any other officials that may have jurisdiction over the home and its siting, and obtain their approvals before beginning construction.
6. We have provided a benchmark for your use in determining elevations for construction on this site, use that benchmark and nothing else for that purpose. Check the elevation of at least one other feature shown to verify your elevations.

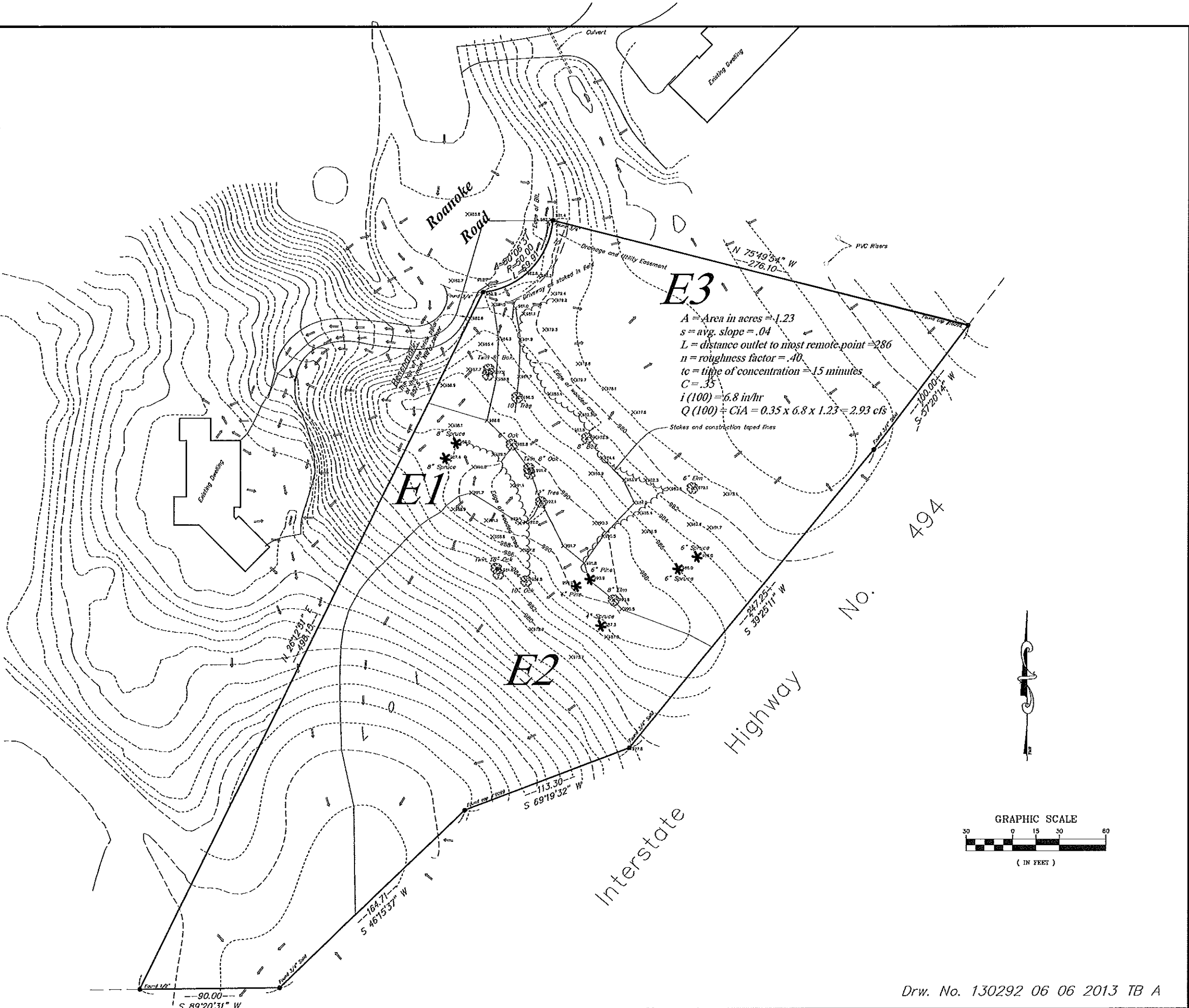
STANDARD SYMBOLS & CONVENTIONS:

"•" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted. Proposed elevations are shown with a box around them, while existing elevations are shown without a box. Arrows indicate the proposed flow of storm water on the site.

CERTIFICATION:

I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a licensed Professional Engineer and Professional Surveyor under the laws of the State of Minnesota.

James H. Parker
James H. Parker P.E. & P.S. No. 9235



ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 www.advsur.com

SURVEY FOR: PRIMETIME CONSTRUCTION & PAINTING LLC

SURVEYED: June 10, 2013 **DRAFTED:** June 10, 2013

REVISED: June 18, 2013 to show house lowered 2 feet to meet height limits.

REVISED: July 17, 2013 to show proposed watersheds and drainage cales, stormwater retention.

LEGAL DESCRIPTION:

Lot 4, Block 1, Zehnder Acres No. 2, Dakota County, Minnesota.

SCOPE OF WORK:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing existing spot elevations necessary to show elevation differences on the site.
5. While we show a proposed location for this home, we are not as familiar with your house plans as you and your architect and/or builder are. Check our proposed location and siting of the home and yard grades carefully to see that they match your plans before construction begins. Also, we are not as familiar with local codes as the local building official and zoning official in this community are. Be sure to show this survey to these officials, or any other officials that may have jurisdiction over the home and its siting, and obtain their approvals before beginning construction.
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CERTIFICATION:

I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and Licensed Land Surveyor under the laws of the state of Minnesota.

Signature: James H. Parker

Typed Name: James H. Parker

Date: July 17, 2013

Reg. No. 9235

Building height calculations

Average existing elevation at corners $(988 + 988.7 + 987.8 + 986.5)/4 = 987.75$

Limit on building height $987.75 + 30 = 1017.75$

Top of foundation = 991.90

Top foundation to peak per house plans = 25.7

Proposed peak of roof elevation = $991.90 + 25.7 = 1017.60 < 1017.75$ OK

Required storage

$$6.8 \times (2.93/3.74) = 5.3 \text{ in/hr} > \text{after 35 minutes}$$

$$35 \text{ min} \times 60 \text{ sec/min} \times .5 \times (3.74 - 2.93) = 850 \text{ cu. ft. storage required}$$

$$7790 \text{ sq. ft.} \times 1 \text{ ft} \times 1/3 = 2597 \text{ cu. ft. storage}$$

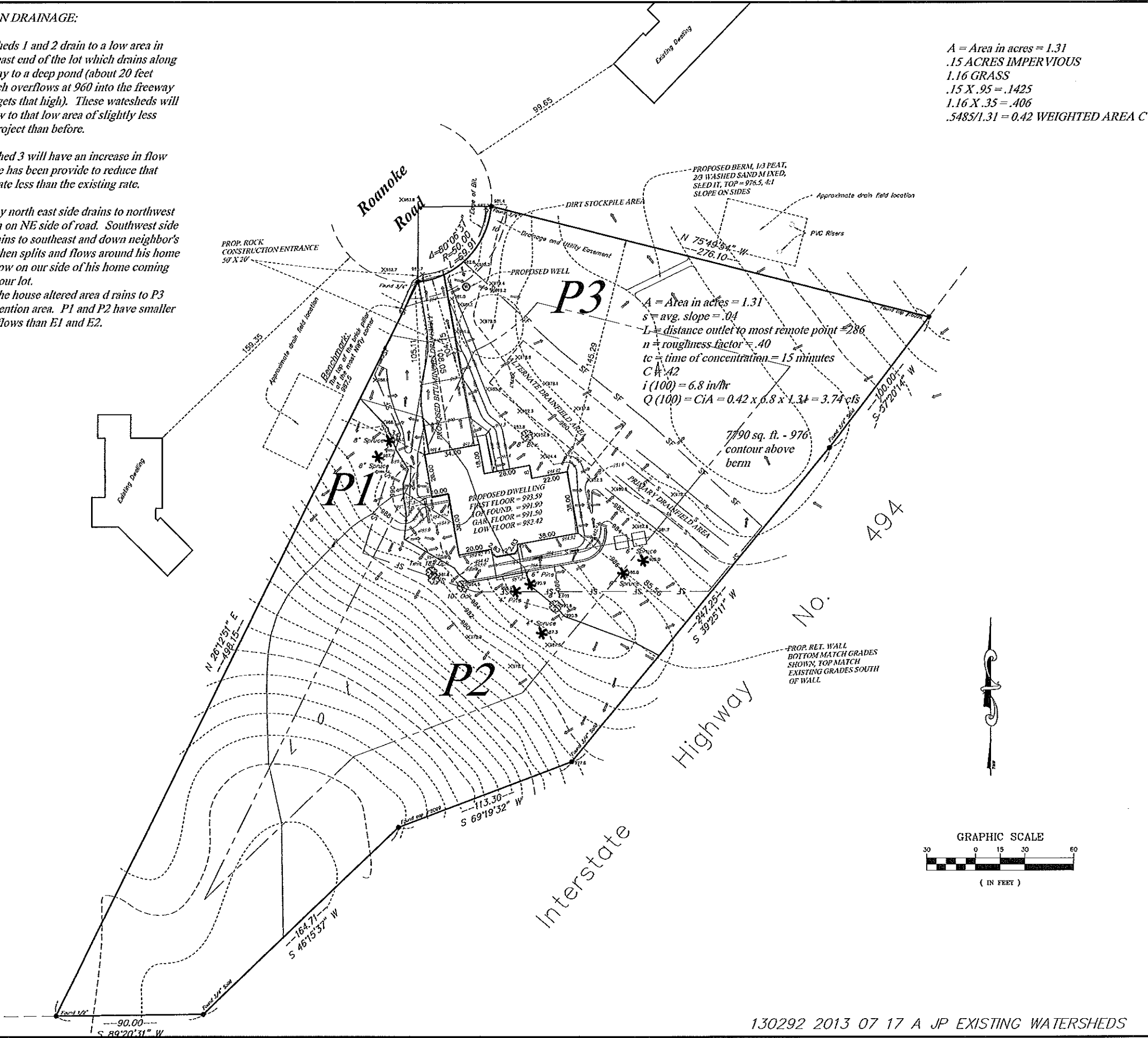
NOTES ON DRAINAGE:

1. Watersheds 1 and 2 drain to a low area in the south east end of the lot which drains along the free way to a deep pond (about 20 feet deep) which overflows at 960 into the freeway (if it ever gets that high). These watersheds will have a flow to that low area of slightly less after the project than before.

2. Watershed 3 will have an increase in flow and storage has been provide to reduce that flow to a rate less than the existing rate.

3. Roadway north east side drains to northwest along ditch on NE side of road. Southwest side of road drains to southeast and down neighbor's drive and then splits and flows around his home with the flow on our side of his home coming back onto our lot.

4. All of the house altered area d rains to P3 and the retention area. P1 and P2 have smaller areas and flows than E1 and E2.



A = Area in acres = 1.31
.15 ACRES IMPERVIOUS
1.16 GRASS
.15 X .95 = .1425
1.16 X .35 = .406
.5485/1.31 = 0.42 WEIGHTED AREA C

A = Area in acres = 1.31
s = avg. slope = .04
L = distance outlet to most remote point = 286
n = roughness factor = .40
tc = time of concentration = 15 minutes
C = .42
i (100) = 6.8 in/hr
Q (100) = C i A = 0.42 x 6.8 x 1.31 = 3.74 cfs

7790 sq. ft. - 976
contour above
berm

PROP. RET. WALL
BOTTOM MATCH GRADES
SHOWN, TOP MATCH
EXISTING GRADES SOUTH
OF WALL

LEGEND

- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES EXISTING CONTOUR LINE
- DENOTES PROPOSED CONTOUR LINE
- DENOTES PROPOSED STORM FLOW
- DENOTES PROPOSED SILT FENCE

ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7564 Fax (952) 225 0502 www.advsur.com

SURVEY FOR: PRIMETIME CONSTRUCTION & PAINTING LLC

SURVEYED: June 10, 2013 **DRAFTED:** June 10, 2013
REVISED: June 18, 2013 to show house lowered 2 feet to meet height limits.

LEGAL DESCRIPTION:
Lot 4, Block 1, Zehnder Acres No. 2, Dakota County, Minnesota.

SCOPE OF WORK:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing existing spot elevations necessary to show elevation differences on the site.
5. While we show a proposed location for this home, we are not as familiar with your house plans as you and your architect and/or builder are. Check our proposed location and siting of the home and yard grades carefully to see that they match your plans before construction begins. Also, we are not as familiar with local codes as the local building official and zoning official in this community are. Be sure to show this survey to these officials, or any other officials that may have jurisdiction over the home and its siting, and obtain their approvals before beginning construction.
6. We have provided a benchmark for your use in determining elevations for construction on this site, use that benchmark and nothing else for that purpose. Check the elevation of at least one other feature shown to verify your elevations.

STANDARD SYMBOLS & CONVENTIONS:
"●" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted. Proposed elevations are shown with a box around them, while existing elevations are shown without a box. Arrows indicate the proposed flow of storm water on the site.

CERTIFICATION:
I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and Licensed Land Surveyor under the laws of the state of Minnesota.

Signature: James H. Parker Typed Name: James H. Parker
Date: May 22, 2013 Reg. No. 9235

Building height calculations

Average existing elevation at corners $(988 + 988.7 + 987.8 + 986.5)/4 = 987.75$

Limit on building height $987.75 + 30 = 1017.75$

Top of foundation = 991.90

Top foundation to peak per house plans = 25.7

Proposed peak of roof elevation = $991.90 + 25.7 = 1017.60 < 1017.75$ OK

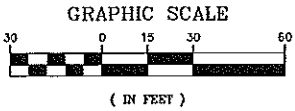
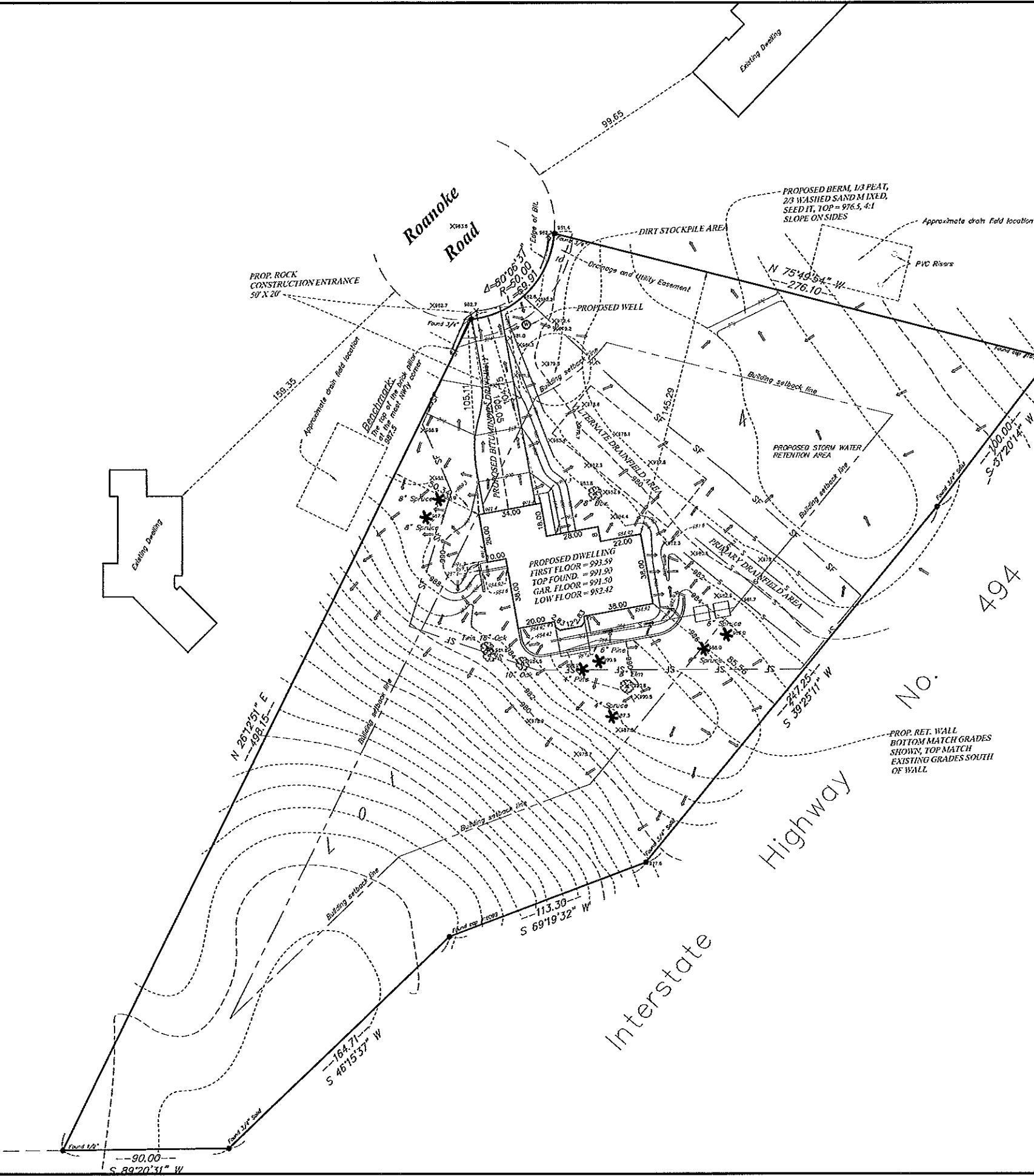
Storm water management

See worksheets for watershed areas and calculations.

No increase in rate of flow on to neighboring properties is proposed.

LEGEND

DENOTES EXISTING SPOT ELEVATION $\bullet$
DENOTES PROPOSED SPOT ELEVATION $\bullet$
DENOTES EXISTING CONTOUR LINE ---942---
DENOTES PROPOSED CONTOUR LINE ---942---
DENOTES PROPOSED STORM FLOW $\rightarrow$
DENOTES PROPOSED SILT FENCE --- SF ---
OR STRAW BIOROLL STAKED



CITY OF Sunfish Lake MINNESOTA

Planning Commission Findings of Fact & Recommendation (Approval)

Applicant's Name: Angela and Rick Brown

Request: The applicants request City approval of major site and building plans and a conditional use permit to be able to construct a new home and garage at 8 Roanoke Road.

Planning Commission Meeting Date: July 17, 2013

Findings of Fact: Based on review of the application and evidence received, the Sunfish Lake Planning Commission now makes the following findings of fact and recommendation:

1. The address of the subject property is as follows:

8 ROANOKE ROAD, SUNFISH LAKE, MN 55118
2. The Planning Report dated July 10, 2013 prepared by Northwest Associated Consultants, Inc. is incorporated herein by reference.
3. Final conditions from the City Engineer, as detailed in an email memo dated July 24, 2013 and discussed in the course of the Planning Commission meeting on July 17, 2013, are incorporated herein by reference.
3. The Sunfish Lake Planning Commission reviewed the applicant's request for major site and building plan and conditional use permit approval on July 17, 2013. The Planning Commission recommended approval of major site and building plans to allow for the construction of a new home at 8 Roanoke Road, and a conditional use permit to allow construction of a single family home on an undeveloped, substandard sized lot, subject to certain conditions as set forth in the Planning Report and as provided by the City Engineer.
4. Upon review of the planning report and application information the Planning Commission found that the proposed site and building plans and conditional use permit request meet Ordinance requirements. The following findings support the Planning Commission recommendation for approval:

Major Site and Building Plans:

1. The proposed home will meet R-1 District and Shoreland Overlay District lot area, width and setback standards.

2. The proposed home meets Ordinance requirements pertaining to building size, height, and material use.
3. The proposed home, garage and driveway will address Ordinance requirements pertaining to drive and parking area design, lighting design, site grading, drainage and stormwater management, landscaping, screening, and septic system location.
4. The proposed building meets the requirements of the Sunfish Lake Design Guidelines.
5. The proposed home meets all other Zoning Ordinance criteria.

Conditional Use Permit:

1. The lot was legally established according to Ordinance requirements, and did not become legally non-conforming until a later date.
2. The lot is similar in characteristic to adjacent single family residential properties.
3. The single family use on the subject property will not require the City to expand street, septic, or water infrastructure.
4. The single family home is able to meet basic lot width and setback requirements, and will meet performances standards provided for single family homes in the Zoning Ordinance.
5. The project satisfies the criteria for a conditional use permit provided in Section 1204.02.F of the Zoning Ordinance.
6. The proposed project meets all conditions for major site and building plan approval.

Recommendation:

Based on the foregoing considerations and applicable ordinances, the Planning Commission recommends approval of the applicant's major site and building plans and conditional use permit to allow for the construction of a new home on their property.

Approved, subject to the following conditions:

1. The applicants provide a revised layout plan indicating all proposed shrubs and ground covers to be installed for landscaping and soil erosion control purposes.
2. Upon completion of installation of lights, all lights or combination of lights which cast any light on residential property shall not exceed one foot candle (meter reading) as measured from adjacent property lines.

3. The applicants provide revised plans addressing final conditions from the City Engineer, as follows:
 - a) Identify the significant trees that are going to be impacted by construction (including any drip lines of the trees within the construction limits), and also which ones are going to be removed. The applicants are not required to label trees outside of the construction area, but should still show the tree line.
 - b) Label and show the trees that are to be saved that may be close to construction and show tree protection fencing around these as necessary.
 - c) Provide and label areas for each of the specific drainage areas for both the existing E1-E3 drainage areas and also for the proposed P1-P3 drainage areas. Also, make the lines delineating these drainage areas darker so they can be clearly seen.
 - d) Label the total area to be disturbed. If over an acre, then a NPDES Construction permit will be required per MCPA requirements.
 - e) Revise the grading plan back to the original version. The current proposal to get the drainage from the west side of the house, around the back, to the east side of the house, may not work and couldn't be graded without the potential for creating a low spot. The applicants shall revise the drainage calculations accordingly and provide those as well.
 - f) Place construction or silt fence around the septic drain fields and label them on the plans to protect and keep construction equipment off of the area.
 - g) Move the alternate septic drain field so it is 50' from the water well per code and also provide a dimension showing this.
 - h) Place silt fence or straw biorolls around temporary stockpile locations.
 - i) Put a note on the plans for the retaining walls that are less than 4' high. If any retaining wall is greater than 4 feet then it must be designed by a MN registered professional engineer with shop drawings and calculations submitted to the City for review before a building permit is issued.
4. Per the recommendation of the City Forester, the applicants must tag any trees for removal to clearly differentiate them from those trees to be saved. In addition, tree protection fencing must be provided around a white oak tree and bur oak tree (both in excess of 20" in diameter) in the vicinity of the construction area., as identified during the applicant's site visit with the City Forester.

5. The applicants must comply with the recommendations of the City Septic Systems Specialist pertaining to the installation of the proposed septic areas.
6. Prior to receiving a certificate of occupancy, the applicants must contact planning staff to arrange pre- and post-construction site visits, whereby staff can confirm that site and building plans and associated approval conditions have been implemented accordingly. The inspections are separate from other inspections that may be necessary by the City Building Inspector, City Septic System Inspector, City Engineer, or other individuals. The cost of site inspections is \$75 each and payment of this amount shall be the responsibility of the property owner.

Adopted by the Sunfish Lake Planning Commission this 17th day of July 2013.

City of Sunfish Lake

By: _____
Arnulf Svendsen
Planning Commission Chair

ATTEST

Catherine Iago, City Clerk

**CITY OF SUNFISH LAKE
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. _____

**RESOLUTION APPROVING A MAJOR SITE AND BUILDING REVIEW
FOR A NEW HOME AND GARAGE, AND A CONDITIONAL USE PERMIT TO
ALLOW CONSTRUCTION OF A SINGLE FAMILY HOME ON AN UNDEVELOPED,
SUBSTANDARD SIZED LOT, FOR THE PROPERTY LOCATED AT 8 ROANOKE
ROAD, LEGALLY DESCRIBED AS LOT 4, BLOCK 1, ZEHNDER ACRES NO. 2.**

WHEREAS, Angela and Rick Brown submitted an application for a major site and building review for a new home and garage, and a conditional use permit request to be able to build a single family home on a substandard sized lot, for the property located at 8 Roanoke Road, legally described as:

Lot 4, Block 1, Zehnder Acres No. 2, Dakota County, MN

WHEREAS, City staff reviewed the application and judged it to be complete and outlined their review comments in a planning report dated July 10, 2013, prepared by Northwest Associated Consultants, and an engineer's report dated June 2, 2013; and

WHEREAS, the Sunfish Lake Planning Commission held a public hearing at their July 17, 2013 meeting and reviewed the major site and building application and the requested conditional use permit, along with the planning report dated July 10, 2013; and

WHEREAS, upon hearing the staff presentations, applicant testimony, and public testimony, the Planning Commission closed the public hearing and recommend to the City Council approval of the major site and building plans to construct a new home, and the conditional use permit to allow construction of a single family home on a substandard sized lot, whereby the following findings support the Planning Commission recommendation for approval:

Major Site and Building Plans:

1. The property is zoned R-1 Single Family Residential District and Shoreland Overlay District, and single family use is a permitted use in the R-1 District.
2. The proposed home will meet R-1 District and Shoreland Overlay District lot area, width and setback standards.
3. The proposed home meets Ordinance requirements pertaining to building size, height, and material use.

4. The proposed home, garage and driveway will address Ordinance requirements pertaining to drive and parking area design, lighting design, site grading, drainage and stormwater management, landscaping, screening, and septic system location.
5. The proposed building meets the requirements of the Sunfish Lake Design Guidelines.
6. The proposed home meets all other Zoning Ordinance criteria.

Conditional Use Permit:

1. The lot was legally established according to Ordinance requirements, and did not become legally non-conforming until a later date.
2. The lot is similar in characteristic to adjacent single family residential properties.
3. The single family use on the subject property will not require the City to expand street, septic, or water infrastructure.
4. The single family home is able to meet basic lot width and setback requirements, and will meet performances standards provided for single family homes in the Zoning Ordinance.
5. The project satisfies the criteria for a conditional use permit provided in Section 1204.02.F of the Zoning Ordinance.
6. The proposed project meets all conditions for major site and building plan approval.

WHEREAS, the Sunfish Lake City Council considered the application for major site and building plan review and a conditional use permit at their meeting on August 6, 2013 and agrees with the findings of the Planning Commission.

NOW THEREFORE BE IT RESOLVED THAT the City Council of the City of Sunfish Lake hereby approves the major site and building plan review and conditional use permit request dated June 17, 2013, for the property legally described as Lot 4, Block 1, Zehnder Acres No. 2, with the following conditions:

1. The applicants provide a revised layout plan indicating all proposed shrubs and ground covers to be installed for landscaping and soil erosion control purposes.
2. Upon completion of installation of lights, all lights or combination of lights which cast any light on residential property shall not exceed one foot candle (meter reading) as measured from adjacent property lines.
3. The applicants provide revised plans addressing final conditions requested by the City Engineer in an email memo dated July 24, 2013, as follows:

- a) Identify the significant trees that are going to be impacted by construction (including any drip lines of the trees within the construction limits), and also which ones are going to be removed. The applicants are not required to label trees outside of the construction area, but should still show the tree line.
 - b) Label and show the trees that are to be saved that may be close to construction and show tree protection fencing around these as necessary.
 - c) Provide and label areas for each of the specific drainage areas for both the existing E1-E3 drainage areas and also for the proposed P1-P3 drainage areas. Also, make the lines delineating these drainage areas darker so they can be clearly seen.
 - d) Label the total area to be disturbed. If over an acre, then a NPDES Construction permit will be required per MCPA requirements.
 - e) Revise the grading plan back to the original version. The current proposal to get the drainage from the west side of the house, around the back, to the east side of the house, may not work and couldn't be graded without the potential for creating a low spot. The applicants shall revise the drainage calculations accordingly and provide those as well.
 - f) Place construction or silt fence around the septic drain fields and label them on the plans to protect and keep construction equipment off of the area.
 - g) Move the alternate septic drain field so it is 50' from the water well per code and also provide a dimension showing this.
 - h) Place silt fence or straw biorolls around temporary stockpile locations.
 - i) Put a note on the plans for the retaining walls that are less than 4' high. If any retaining wall is greater than 4 feet then it must be designed by a MN registered professional engineer with shop drawings and calculations submitted to the City for review before a building permit is issued.
4. Per the recommendation of the City Forester, the applicants must tag any trees for removal to clearly differentiate them from those trees to be saved. In addition, tree protection fencing must be provided around a white oak tree and bur oak tree (both in excess of 20" in diameter) in the vicinity of the construction area., as identified during the applicant's site visit with the City Forester.
 5. The applicants must comply with the recommendations of the City Septic Systems Specialist pertaining to the installation of the proposed septic areas.
 6. Prior to receiving a certificate of occupancy, the applicants must contact planning staff to arrange pre- and post-construction site visits, whereby staff can confirm that site and building plans and associated approval conditions have been implemented accordingly. The inspections are separate from other inspections that may be necessary by the City Building Inspector, City Septic System Inspector, City Engineer, or other individuals.

The cost of site inspections is \$75 each and payment of this amount shall be the responsibility of the property owner.

This resolution is adopted by the City Council of the City of Sunfish Lake this 6th day of August 2013.

Molly Park, Mayor

Attest:

Catherine Iago, City Clerk

- DRAFT -

SUNFISH LAKE PLANNING COMMISSION MEETING – July 17, 2013
7:00 P.M. - ST. ANNE'S EPISCOPAL CHURCH

Attendants:

Acting Chair: Andrea McCue
Commissioners: Tom Hendrickson and Gordon Peters
City Planners: Michelle Barness and Emily Shively
City Clerk: Cathy Iago
Chair Arnulf Svendsen and Commissioner Tom Schlehuber were absent.

1. **CALL TO ORDER:** Acting Chair McCue called the meeting to order at 7:00 p.m.
2. **ADOPT AGENDA:** Acting-Chair McCue asked if there were any additions to the agenda and there was no response.

Commissioner Hendrickson moved to adopt the agenda, seconded by Commissioner Peters and carried. (3-0)

3. **APPROVE MINUTES MAY 15, 2013:** Acting-Chair McCue asked if there were any additions or corrections to the May 15, 2013 Planning Commission minutes and there was no response.

Commissioner Hendrickson moved to approve the May 15, 2013 Planning Commission minutes as presented, seconded by Commissioner Peters and carried. (3-0)

4. **PUBLIC HEARING; Major Site and Building Plan Review, 8 Roanoke Road, Angie & Rick Brown:** Planner Barness referred to her report dated July 10, 2013 and explained the applicants are proposing to build a new home and attached garage on an existing vacant non-conforming lot of record at 8 Roanoke Road. She stated that the review by the Commission includes the major site and building plan for the new home and also a conditional use permit review because the subject property is a legally non-conforming lot. She stated that the net lot area is below the current zoning requirement of 2.5-acres, however; the lot was platted prior to adoption of the current regulations and also contains a significant area of steep slopes that may not be included in the lot area calculations.

The Planner stated that the proposed new home would be 2,888 sq. ft. on the main floor and would have a finished basement that is not calculated in the gross floor area of the home. She further advised that the attached garage would be 880 sq. ft. and the current ordinance allows up to 1200 sq. ft. She referred the Commissioners to pages 2 and 3 of her report that outline the required building standards for the R-1 and Shoreland Overlay Districts; she explained the property falls within the Shoreland Overlay District for Horseshoe Lake although it does not have frontage on the lake.

Planner Barness explained that the proposed application meets all building setbacks and lot coverage requirements. She further explained that the application also meets all applicable Shoreland Overlay District standards and setbacks; she noted that the maximum impervious surface coverage required is 30 percent and only 6 percent is proposed.

The Planner explained that in the R-1 District a net lot area of 2.5 acres is required that excludes wetlands, drainage ways and steep slopes in excess of 12 percent grade. She advised this parcel is approximately 1.7 acres in net lot area due to a significant area of steep slopes on the southern portion of the lot. She stated that the Zoning Ordinance allows for a legal, non-conforming, vacant or redeveloped substandard sized lot of record to be developed for single family detached uses with approval of a Conditional Use Permit, based upon the conditions listed in the ordinance. She noted the following: 1) the lot in question was legally established under the ordinance requirements existing at the time of its creation in 1991; 2) the lot in question is similar in size and characteristics to adjacent lots; 3) the lot has frontage on a public or private street; 4) public health concerns can be adequately address with septic and well installation; 5) the parcel is able to meet all other R-1 District and Shoreland Overlay District setback and yard requirements; and 6) the lot must meet the standards outlined for approval of a conditional use permit.

Planner Barness explained that the proposed single family home is anticipated to satisfy the housing policies as provided in the Comprehensive Plan by respecting natural contours on the property and enhancing site orientation by using the

existing topography in the home design. She stated the architectural features of the home are similar to surrounding homes in the area and would not adversely affect adjacent property values. She advised that the proposed use is compatibility with present and future uses of the area and is in conformance with all performance standards for the R-1 District. She noted that the proposed single family home would result in the removal of very little existing vegetation and that traffic generated by this use is compatible with current traffic use generated by surrounding properties. She also explained that no additional public streets or utilities are required as part of the project.

The Planner explained that the building structure does not exceed the 30 ft. height requirement and reviewed how the building height is calculated. She advised that the neighbors will view the home as a single story from the front elevation and the rear elevation would be screened by tree coverage. She stated the building materials include hardy plank siding, stone veneer and architectural shingles for the roof; she noted that the front elevation shows a higher entryway architectural feature in the design. She stated that the City Building Inspector reviewed the plan set and had no comments regarding the application; she explained that a more thorough review will be conducted with the building permit application. She explained that the plans were also reviewed against the City Design Guidelines and met the standards listed.

Planner Barness advised that an attached garage is proposed and no additional accessory structures are proposed at this time. She explained that the Shoreland Overlay District requires driveways and parking to be screened from adjacent properties, however, the driveway and garage are located at the north end of the subject property which is a significant distance from the lake to the south. The bituminous driveway meets all standards and setbacks and will be 15 ft. in width for accommodating emergency vehicle access.

The Planner reviewed the exterior lighting plan and stated that eight (8) cylinder lights are proposed and three (3) recessed soffit lights; she advised that the recessed lights meet the standards; however the cylinder lights direct light upwards and do not appear to reduce reflective glare. She showed the Commission an alternative cottage light proposed by the applicant and suggested that the Commission consider deeming the cylinder light appropriate or requesting the alternate cottage lighting be used.

Planner Barness advised that the City Engineer had reviewed the site survey and requested several revisions; she noted the applicants had revised the site survey to include the Engineer's revisions and she distributed copies of the revised site survey to the Commissioners. She explained that originally the Engineer had recommended denial of the request, however; after review of the revised site survey, the Engineer now recommends approval of the request with conditions that he will outline in a memorandum prior to Council review of the plan. She noted that the revised plan includes a rock construction entrance and the stockpile location moved to within 50 ft. of a driving surface.

Commissioner Hendrickson asked if the stockpile location proposed is outside of the area where the well is proposed

The Planner responded yes and showed that the stockpile location is just north of the well location.

The Planner referred to the watersheds shown on the revised site survey and explained the areas shown as E-1 and E-2 should not have drainage issues, however, it is recommended that the applicants install a berm in area E-3 to trap water prior to leaving the site.

Commissioner Peters asked if the site is usually wet. The Planner responded no, but noted there are a few low areas on the property where water may pool.

Acting-Chair McCue asked if the applicants had considered installing a rain garden. The Planner explained that this had been discussed with the applicants and they appeared to be open to the suggestion.

Planner Barness pointed out that the Engineer had asked about removal of trees on the site; she noted there was one large apple tree near the driveway to be removed, but she indicated that the Commissioners may wish to request the applicants provide a more detailed plan showing tree removal. She suggested that the applicants work with the City Forester regarding the tree removal and installation of trees.

Acting-Chair McCue asked if the applicants would be installing more trees.

Rick Brown stated he would be willing to plant more trees and asked for suggestions as to what would be appropriate to plant.

Planner Barness commented that oak trees and evergreens provide screening but take a long time to mature; she suggested the applicants work with the City Forester to determine which plantings would be best.

Rick Brown asked if apple trees would be appropriate and the Planner responded yes.

The Planner explained that the landscaping plan shows re-sodding of the area 12 ft. out from the home and installation of holly shrubs in the front area of the home.

Acting-Chair McCue asked if the septic system is shown on the plan.

The Planner responded that both the proposed and alternate areas for the septic area shown. She advised that the applicant was asked to move the well 10 ft. further from the drainfield and they agreed.

Planner Barness stated that no fencing is proposed on the property; however, the applicants plan to install two (2) retaining walls that do not exceed 4 ft. in height. She explained that the applicants would work with the Septic Inspector regarding installation of the septic system and well. She also noted that the City Engineer requested installation of protective fencing around the perimeter of the primary and secondary drainfields prior to any heavy equipment on site. She explained that the City Engineer requests the applicants install erosion control silt fencing around the entire construction area, septic area and also as protection for mature trees.

The Planner explained that she spoke to the Engineer today and he recommends approval of the plan with the following conditions:

1. Provide a revised landscape plan showing tree removal and plantings and recommend that the applicant contact the City Forester to discuss species for planting;
- 2) Show location of silt fencing installation on revised site plan;
- 3) Move the Well location 10 feet further away from the drainfield;
- 4) Require applicant to have their engineer enlarge the drainage area on the survey where pooling of water occurs and provide a copy to the City Engineer for review.

The Planner also noted that the applicants should be required to show the one foot candle measurements for the proposed cylinder or cottage style lighting and that this information could be obtained from the manufacturer.

Planner Barness stated that staff recommends approval of the Major Site and Building Plan and the Conditional Use Permit, based on the findings of fact as listed in her report and with the conditions listed in her report along with the additional conditions as recommended by the City Engineer as discussed and to be provided in a memorandum prior to Council consideration.

Acting-Chair McCue thanked the Planner for her report and asked if there were any comments from the floor; she noted there were no audience members present for the public hearing.

Planner Barness introduced Planner Emily Shively and explained Emily would be attending meetings while she was on maternity leave.

There was discussion with the applicant regarding species of trees for planting. Commissioner Peters suggested mixed pine and hardwoods. Commissioner Hendrickson commented that the City Forester could provide recommendations for plantings; he noted that the site is currently well screened and the only area that may have issues is the northeast side of the property.

Acting-Chair McCue closed the public hearing asked if the applicant or Commissioners had any questions.

Commissioner Peters asked what material would be used for the retaining walls and if an irrigation system is proposed.

Rick Brown responded the retaining wall would be block material and that no irrigation system is proposed.

Commissioner Peters commented that the attached garage is 884 sq. ft. and the City allows up to 1250 sq. ft. He pointed out that the corner of the garage is currently placed at the required setback and this does not allow for any future expansion of the garage.

Rick Brown asked if he would have to revise the plans to move the home from the required setback to accommodate future expansion and the Planner responded yes.

Commissioner Hendrickson commented that moving the home may change the height of the building.

The Planner explained that if the applicant chooses to move the setback after the plans have been approved, it would only require a review by staff and not the Commission and Council.

Commissioner Peters complimented the applicants on their plans for the new home.

Acting-Chair McCue asked if there were any further questions or comments and there was no response.

Commissioner Hendrickson moved to approve the Major Site and Building Plan and Conditional Use Permit application for Angie and Rick Brown at 8 Roanoke Road, based on the findings of fact and conditions as outlined by the Planner and listed in her report dated July 10, 2013 and with the additional revised conditions as listed in the memorandum from the City Engineer dated July 18, 2013, seconded by Commissioner Peters and carried. (3-0)

5. **ADJOURN:** Acting-Chair McCue asked if there was any further business or discussion and there was no response.

Commissioner Hendrickson moved to adjourn the meeting at 7:40 p.m., seconded by Commissioner Peters and carried. (3-0)

Respectfully submitted,

Catherine Iago, City Clerk