

CITY OF *Sunfish Lake* MINNESOTA

**Planning Commission
Findings of Fact &
Recommendation
(Approval)**

Applicant's Name: Timothy Schacker & Kristin Hoelscher-Schacker

Request: The applicants request City approval of major site and building plans at 393 Salem Church Road.

Planning Commission Meeting Date: April 17, 2013

Findings of Fact: Based on review of the application and evidence received, the Sunfish Lake Planning Commission now makes the following findings of fact and recommendation:

1. The address of the subject property is as follows:

393 SALEM CHURCH ROAD, SUNFISH LAKE, MN 55118
2. The Planning Report dated April 10, 2013 prepared by Northwest Associated Consultants, Inc., and the engineer's report (dated April 2, 2013) and email memorandum (dated April 17, 2013) is incorporated herein by reference.
3. The Sunfish Lake Planning Commission reviewed the applicant's request for major site and building plan approval on April 17, 2013. The Planning Commission recommended approval of major site and building plans to allow for the removal of an existing home and construction of a new home at 393 Salem Church Road, subject to certain conditions as set forth in the Planning Report.
4. Upon review of the planning report and application information the Planning Commission found that the proposed site and building plans meet Ordinance requirements, and that the proposed single family home is a reasonable use of the property. The following findings support the Planning Commission recommendation to approve the proposed site and building plans:
 - a. The proposed home will meet R-1 District and Shoreland Overlay District lot area, width and setback standards.
 - b. The proposed home meets Ordinance requirements pertaining to building size, height, and material use.
 - c. The proposed home, garage and expanded driveway will address Ordinance requirements pertaining to drive and parking area design,

lighting design, site grading, drainage and stormwater management, landscaping, fencing, screening, and septic system design.

- d. The proposed building meets the requirements of the Sunfish Lake Design Guidelines.

Recommendation:

Based on the foregoing considerations and applicable ordinances, the Planning Commission recommends approval of the applicant's major site and building plans to allow for the construction of a new home on their property.

Approved, subject to the following conditions:

1. The applicant shall provide proof that upon completion of installation of lights, all lights or combination of lights which cast any light on residential property or over public water do not exceed one foot candle (meter reading) as measured from the edge of water abutting the subject property, and from adjacent property lines. This may be demonstrated by providing evidence of at which distance out from proposed light fixtures meter readings will fall below the required one foot candle measurement.
2. The applicant shall meet any remaining stormwater, grading, erosion control and septic recommendations addressed by the City Engineer in his report (Exhibit M), and additional specific conditions provided by the City Engineer in an email dated April 17, 2013, as follows:
 - a) Extend protective fencing around the primary drain field.
 - b) Structural calculations from a registered engineer in the State of Minnesota will be required for retaining walls that exceed four feet in height. A copy of these plans needs to be provided to the engineer office before the work on the wall can proceed.
 - c) Infiltration and or retention need to be developed and incorporated into the final drainage plans for the 0.19 acres of new impervious surface (345 cubic feet of retention).
 - d) Silt fence needs to be adjusted to encompass all tree planting areas.
 - e) Silt fence needs to be added around the proposed septic tank abandonment area.
3. The applicant must comply with the recommendations of the City Septic Systems Specialist pertaining to the removal of existing septic areas, and installation of the proposed primary and secondary septic areas.

4. The applicants must comply with City Code demolition requirements, including completing a building permit application and submitting it along with a completed Dakota County Intent to Perform Demolition form to the Dakota County Environmental Services Division, as described in the "General Permit Form" provided on the Sunfish Lake website. All requirements associated with these permits must be complied with.
5. The applicant shall revise their landscape plans so as to remove any solid wall fences, which are currently prohibited by Zoning Ordinance. The wall around the perimeter of the courtyard may remain, and will be considered integral to the retaining wall in that area.
6. Based on the recommendation of the City Forester, the applicants install all proposed trees prior to the project undergoing final site inspections.
7. Prior to receiving a certificate of occupancy, the applicant must contact planning staff to arrange pre- and post-construction site visits, whereby staff can confirm that site and building plans and associated approval conditions have been implemented accordingly. The inspections are separate from other inspections that may be necessary by the City Building Inspector, City Septic System Inspector, City Engineer, or other individuals. The cost of site inspections is \$75 each and payment of this amount shall be the responsibility of the property owner.

Adopted by the Sunfish Lake Planning Commission this 17th day of April 2013.

City of Sunfish Lake

By: _____
Arnulf Svendsen
Planning Commission Chair

ATTEST

Catherine Iago, City Clerk



PLANNING REPORT - Major Site and Building Plan Review

TO: Sunfish Lake Mayor and City Council
Sunfish Lake Planning Commission

FROM: Michelle Barness/Alan Brixius

DATE: April 10, 2013

RE: Sunfish Lake – 393 Salem Church Road – Site and Building Plan Review

FILE: 211.01 – 13.04

Application Accepted:	March 18, 2013
Planning Commission Date:	April 17, 2013
Tentative City Council Review:	May 7, 2013
60-day Review:	May 17, 2013

BACKGROUND

Tim Schacker and Kristin Hoelscher-Schacker are requesting approval of a Major Site and Building Plan Review to allow the construction of a new home and garage at 393 Salem Church Road. A Major Site and Building Plan Review requires review and recommendation by the Planning Commission and final approval by the City Council.

The building footprint of the existing home to be removed is approximately 1,858 square feet, including attached garage. The proposed two story home will have a building footprint of approximately 4,609 square feet in area. The following is a description of the floor area of the proposed home:

	<u>House</u>	<u>Garage</u>
Basement Floor:	2,688 square feet	
First Floor:	3,713 square feet	896 square feet
Second Floor:	936 square feet	
Total Floor Area:	7,337 square feet	896 square feet

Sunfish Lake Zoning Ordinance Section 1202.02.F defines the gross floor area of a building as the floor area exclusive of the basement or cellar. Our ordinance does not provide a definition that distinguishes basements from cellars, as such the planning commission may exclude the basement from the gross floor area of the house.

APPROVALS REQUIRED	
Major Site and Building Plan Review	To permit the construction of a new house and garage at 393 Salem Church Road

Attached for reference:

- Exhibit A: Erosion Control/Demo Plan (Sheet L1.0)
- Exhibit B: Site and Grading Plan (Sheet L2.0)
- Exhibit C: Layout Plan (Sheet L3.0)
- Exhibit D: Planting Plans (Sheets L4.0 – L4.1)
- Exhibit E: Details (Sheet L5.0)
- Exhibit F: Certificate of Survey – Existing
- Exhibit G: Floor Plans (Sheets A1.0 – A1.2)
- Exhibit H: Elevations and Sections (Sheets A2.0 – A3.0)
- Exhibit I: Project Narrative
- Exhibit J: Outline Specifications
- Exhibit K: Building Perspectives and Materials
- Exhibit L: Lighting Cut Sheets
- Exhibit M: Engineers Report

ISSUES ANALYSIS

The applicants are proposing to demolish the existing home on the property, to build a new home at a different location on the site. The applicants must comply with City Code demolition requirements, including completing a building permit application and submitting it along with a completed Dakota County Intent to Perform Demolition form to the Dakota County Environmental Services Division, as described in the “General Permit Form” provided on the Sunfish Lake website. All requirements associated with these permits must be complied with. In addition, abandonment of the existing septic system on the parcel must comply with the requirements of the City Engineer and Septic Inspector, and must be in accordance with MPCA septic requirements.

Major Site and Building Plan Review

The property at 393 Salem Church Road is zoned R-1, Single Family Residential and is also within the Shoreland Overlay District surrounding Sunfish Lake. The following table illustrates the application of both the R-1 District requirements and the Shoreland Overlay District requirements to the property.

R-1 District Standards	Required	Proposed	Compliant
Front Setback (south –setback to the public street.)	100 feet	est. 150 feet	Yes
Side Setback (east/west)	50 feet	est. 215 feet/53 feet	Yes
Rear Setback (shoreland - north)	50 feet	60 feet	Yes
Front Accessory Setback (Setback to the public street – attached garage)	100 feet	est. 220 feet	Yes
Side Accessory Setback (garage)	25 feet	est. 240 feet	Yes
Rear Accessory Setback (garage)	25 feet	est. 60 feet	Yes

Maximum Building Coverage	10%	4%	Yes
Building Height Limitation (height above average existing grade)	30 feet	25.25 feet	Yes
Shoreland Overlay District Standards	Required	Proposed	Compliant
Buildable lot area above OHWM*	2.5 acres	2.65 acres	Yes
Frontage on improved public street/private road	200 feet	est. 330 feet	Yes
Lot width at building setback line	200 feet	est. 290 feet	Yes
Lot width at OHWM* of abutting water body	150 feet	N/A	Yes
Building setback from OHWM*	200 feet	Not applicable	N/A
Building setback from property line located adjacent to street	100 feet	est. 150 feet	Yes
Maximum lot coverage by impervious surface	30%	10.6%	Yes
Surface building side yard setback	50 feet	est. 53 - 215 feet	Yes
Sewage system setback from OHWM*	150 feet	exceeds 150 feet	Yes

* OHWM (Ordinary High Water Mark)

Lot Area Requirements. As illustrated in the table above, the lot in question meets the R-1 District standards for lot area, width and setbacks.

Building Height. According to the Ordinance, no building structure shall exceed two and a half stories or 30 feet in height above existing grade (measured from the average existing ground level). According to the submitted project elevations, the average existing ground elevation around the proposed home is 966.5 feet in elevation, so that any new structure should not exceed 996.5 feet in elevation, or 30 feet. The top of the proposed principal building does not exceed 991.75 feet in elevation, with a total building height of 25.25 feet, meeting the R-1 District 30 foot height limit. The existing home on the property is 1½ stories tall, or between 18 and 22 feet (based on average story height), in which case the proposed home is between 3 and 7 feet taller than the existing home.

Building Materials. Both the home and attached garage will be constructed of a combination of stucco and siding, both approved exterior building finishes. The foundation walls of the principal building will consist of vertically and horizontally reinforced concrete block, and roofing materials will consist of asphalt shingles. The applicants are also proposing to install green roof along portions of their roof in the future. An additional building permit will be required for the green roof at that time.

The City Building Inspector has reviewed the plan set and has no comments regarding this application. A more thorough Building Code review will be conducted with the

building permit application. The building plans were also reviewed against the Sunfish Lake Design Guidelines, and were found to successfully meet the standards set forth therein. A discussion of proposed improvements in relation to the Design Guidelines is provided in the Site and Building Evaluation Criteria discussion later in this report.

Accessory Buildings. An attached garage not exceeding 1,250 square feet (first floor) shall be considered an integral part of the principal building. The applicants are proposing an 896 square foot attached garage, which meets ordinance size requirements. No additional detached accessory structures are being proposed. The principal building will contain a small in-ground swimming pool on its main level, which will need to meet the approval of the building inspector prior to the issuance of a building permit.

Placement and Design of Roads, Driveways, and Parking Areas. According to the Ordinance, private roads and parking areas shall be designed to take advantage of natural vegetation and topography to achieve maximum screening from view from public waters. The driveway and garage are located at the northeast corner of the house. This area is separated from Sunfish Lake by a lakeside parcel to the north and significant tree coverage. The driveway meets an existing private drive connecting to Salem Church Road, but is extended in length to serve the new home, which will be located farther into the site. The applicants have made an effort to minimize the impact of the extended driveway by reducing its width in comparison to the existing driveway (the driveway will continue to be of sufficient width to serve emergency vehicles).

The proposed parking area and drive meet the design standards listed in Section 1223.02 of the Zoning Ordinance, including providing bituminous or concrete surfacing and a buffer of at least 25 feet between the property line and the parking area.

Lighting. Exterior lighting of homes or property is allowed as necessary for safety purposes provided the impact on surrounding properties is minimized and it is in compliance with Section 1216.06 of the Zoning Ordinance, which states the following:

- Any exterior lighting shall be arranged as to deflect light away from any adjoining residential property;
- Direct or sky-reflected glare (e.g., up lighting and flood lighting) shall not be directed into any adjoining property; and
- The source of lights shall be hooded or controlled in some manner so as not to light adjacent property.

The applicants' exterior lighting plan includes eight cast bronze LED deck lights, located around the proximity of the proposed courtyard on the east side of the home, one spun aluminum bowl light, located above the double garage door, and eight recessed Halo H-7 series lights, located in overhang soffits at entry points. All proposed lighting fixtures are hooded or recessed. The fixtures are not anticipated to be overly visible from adjoining properties or the lake. Upon installation, all lights or combination of lights which cast any light on residential property or over public water shall not exceed one foot candle (meter reading) as measured from the edge of water abutting the subject property. This may be demonstrated by providing evidence of at which distance out

from proposed light fixtures, meter readings will fall below the required one foot candle measurement.

Grading and Drainage.

Steep Slopes. The proposed grading plan includes work within areas of steep slopes (in excess of 12%). The City Engineer has indicated that site grading shows a positive slope away from the house foundation, and is requiring no further modifications to the grading plan at this time.

Topographic Alteration and Erosion Control. The construction of the proposed home will require extensive re-grading of the site, in addition to demolition of the existing home and surrounding elements (driveway, timber landscape walls, fencing, brick walk, wood deck, etc.), and removal of selected vegetation. The applicants have provided some information on erosion and sediment control, and re-vegetation specifications. Erosion control methods include an erosion control fence (silt fence) which will wrap around the north, south, and west extent of construction on the site (including the proposed main septic drain field area). In addition, the applicants intend to restore significant amounts of those areas disturbed by construction with native prairie mix, no mow fescue, or landscaped areas. This restoration should occur immediately after construction on the site is completed.

The City Engineer is providing recommendations for site erosion control measures as outlined in his report (see Exhibit M). Specifically, he has requested that the applicants provide a revised demolition and erosion control plan illustrating that silt fence will be extended around several trees to be removed at the northwest corner of the graded site, as well as to encompass the proposed secondary drain field area, existing and proposed well locations, and existing septic areas to be removed (if this is the case). The intention is to protect these areas from destruction or soil compaction during the course of construction. The total area disturbed calculations provided on the erosion control plan will need to reflect this new extent of silt fencing.

To limit erosion and sediment movement from the site the City Engineer is also requesting that the applicants construct and maintain a rock construction entrance of approximately 50 feet in length and 20-50 feet wide at the point where the contractor is leaving the paved surface and entering an exposed dirt area.

The Shoreland Overlay District limits the impervious surface coverage of lots to not exceed 30% of the lot area. The proposed home and garage will result in 10.6% impervious surface coverage on the site, while the existing home and drive result in approximately 4.7% impervious surface coverage. The proposed impervious coverage meets Ordinance standards, but due to the increase in impervious surface on the site the City Engineer may provide further requirements with regards to stormwater management.

Stormwater Management. Stormwater will drain away from the proposed home and driveway. Stormwater movement to the east of the house and north of the driveway will drain towards a low area on the lot, stormwater to the northwest of the house will drain

off the property onto the parcel to the north, and stormwater south of the house and driveway will generally drain south towards the Salem Church Road street right-of-way. The addition of native prairie and no mow fescue surrounding the home and driveway will aid significantly in infiltrating and filtering stormwater as it moves across the site in the future. Interception of stormwater movement during construction will be essential, especially given the significant amount of trees being removed. The applicant shall heed all erosion control and stormwater management recommendations provided by the City Engineer (see Exhibit M).

To provide a more complete analysis of stormwater management and infiltration on the site the City Engineer is requesting the following information be provided:

- 1) Location and dimension of existing stormwater drainage systems and natural overland drainage patterns, including a calculation (by a qualified engineer) of stormwater runoff before construction.
- 2) A drainage plan of the developed site, prepared by a qualified engineer, delineating which direction and at what rate stormwater runoff will be conveyed from the site, and setting forth any areas of the site where stormwater will be allowed to collect.

Landscaping/Fencing/Screening.

Fencing. The applicants are proposing a combination of freestanding stone walls in their site and landscaping plans. A two foot tall stacked stone wall is proposed around the perimeter of the courtyard adjacent to the east side of the new home. The courtyard wall extends for a length of approximately 60 feet. A four foot tall stepped stone wall with a freestanding dry stack gravity wall section is proposed to the east of the driveway, in connection with an extended retaining wall running along the north end of the driveway. The stepped stone wall is approximately 15 feet in length. A four foot tall freestanding dry stack gravity wall is proposed in the terrace to the west of the house (approximately 12 feet in length), and at the entrance to the home as a feature for displaying the homes address (approximately 8 feet in length). In addition, stone retaining walls are proposed west of the terrace and south of the home.

Retaining walls are excluded from specific fence standards described in Section 1218.01.C. of the Ordinance, but the freestanding stone walls will need to meet fencing requirements described in Zoning Ordinance Section 1218 Fencing. The proposed freestanding stone walls all meet locational, height and length requirements. However as solid walls they are not currently permitted by the Ordinance. Solid wall fences may only be permitted under unique circumstances where practical difficulties can be shown to justify approval of a variance (Section 1218.01.C.3). The City is currently considering an ordinance amendment which would permit solid wall fences of a certain height without a variance. However, until such language has been made official in the Zoning Ordinance the applicant will be required to apply for a variance to be able to construct any freestanding solid walls on their property.

The applicant is proposing several retaining walls as part of the project, some of which are four feet in height or taller. The City Engineer has indicated that these retaining walls need to be designed and signed by a registered professional engineer, and the plans provided to the City Engineer for review prior to the issuance of a final building permit.

Landscaping. Forty-six trees are to be removed from the lot in the course of constructing the new home and driveway. Trees identified for removal are in the immediate area of the proposed driveway, home or courtyard, and include a majority of ash trees, as well as elm, juniper, spruce, and crabapple trees. A significant amount of trees will remain on the site as well, and approximately six trees are specifically identified on the demolition plan (Exhibit A) to be protected by tree protection fencing during demolition. Currently City Ordinance requires that tree protection measures also include marking trees to be saved with a red flag, so as to clearly differentiate them from trees to be removed.

The planting plans indicate that 54 trees will be planted on the site, exceeding the number of trees removed. Trees to be planted are diverse, and include maple, birch, aspen, serviceberry, and spruce species. All of these trees are either specifically permitted by Ordinance, or have regularly been used in residential landscaping situations.

The City Forester has reviewed the applicant's tree removal and landscaping plans. He indicated that the appropriate trees are being removed from the property, the applicants are providing adequate protection for those trees intended to be conserved, and that trees proposed by the applicants will help diversify the woodlands in their area of the city. He requested that any proposed trees be installed prior to the project undergoing final site inspections.

Planning staff was contacted by a neighbor adjacent to the project site who shared some concern regarding adequate screening between the properties. Planning staff analyzed conditions on both properties, and provides the following findings:

- 1) A significant amount of existing and proposed tree coverage is found on both properties, which will provide vertical separation between homes on the adjacent parcels.
- 2) The distance between homes on the adjacent parcels exceeds 500 feet, providing significant horizontal separation.
- 3) The average existing grade of homes on the adjacent parcels will be within approximately 5½ feet, such that significant elevation change should not seriously impact views.
- 4) The homes are of similar height (25 feet and 27 feet, respectively), and the top elevation of the two homes varies by only approximately 3½ feet, such that home elevation should not seriously impact views.

With respect to these factors, the applicants proposed site and building plans do not appear to negatively impact adjoining properties.

Septic System. The applicant provided the location of proposed primary and secondary septic system mounds on the site, and indicated the location and elevation of existing septic fields on the site. The Engineer is requesting that the applicants also indicate the size of the existing septic fields on the erosion control plan, and that silt fence be extended around this location should these septic fields be removed.

The City Engineer has indicated that existing septic system removal shall be in accordance with the MPCA requirements, which require the top to be removed, tanks pumped, and the bottom concrete flushed and filled with sand to allow drainage to migrate through the old septic tank.

Detailed construction plans and applicable permits will be required in conjunction with the building permit application for the septic systems, and the applicant must further comply with the recommendations of the City Septic Systems Specialist pertaining to the removal of existing septic areas and installation of the proposed primary and secondary septic areas.

Site and Building Plan Evaluation Criteria. As described in Section 1208.04 of the City Zoning Ordinance, the Planning Commission, as its basis of recommendation, and the City Council, as its basis for decision, shall evaluate the effects of the proposed site and building plans. This review shall include, but is not limited to, the following:

- A. Whether the proposed improvements are compatible and in harmony with the existing structures in the surrounding community.

Comment: The proposed single family home is a permitted use in the R-1 District. While the proposed home is larger than the existing house on the site, the building and site plan appear to comply with R-1 standards. In addition, the architecture is of quality design consistent with City Design Guidelines. The Planning Commission will need to make a finding as to whether this proposed home is compatible and in harmony with the surrounding community.

- B. Whether the proposed improvements preserve the character and nature of the surrounding community, including the natural landscape and woodland characteristics of the community.

Comment: The applicants make efforts to preserve the quality of the natural landscape on the property. A significant number of trees will be removed during the construction of the house and driveway, however a majority of those are ash trees, which may have to be removed from residential properties in the future as a result of emerald ash borer infestations. Therefore the City Forester supports the removal of the designated trees. On the other hand, a significant amount of trees will be maintained on the site, and more than 50 additional trees will be planted in connection with the new home. In addition, the applicants will be planting extensive areas of native prairie, no mow fescue (as opposed to

resource intensive Kentucky bluegrass), and landscaping perennials, grasses and shrubs, all of which will add to the beauty and functionality of the surrounding environment.

- C. Whether the proposed improvements are not constructed of unsightly, improper or unsuitable materials.

Comment: The exterior materials of the proposed house and garage meet Ordinance requirements, create aesthetic appeal, and otherwise maintain the character of the locality. Further, they meet the requirements of the Sunfish Lake Design Guidelines, in that they:

1) Preserve sensitive areas during construction (*applicants plan on installing silt fencing during construction, and plan on restoring exposed areas immediately after construction; additionally, they will implement areas of native prairie which require much less resource use than typical lawn, in addition to providing benefits such as wildlife habitat, stormwater treatment, improved soil structure, etc.*).

2) Designed for specific conditions of the site (*principal building designed to step up sloping grades.*

3) Unifying design concept (*grouped building elements to help clearly define usable outdoor spaces – terrace and courtyard; environmental response, including basing the building's design on harnessing views of prairie and important outdoor spaces*)

4) Integrated attractive building features in the architectural design (*a landscaped courtyard, a stone terrace, a screened porch, roof details including roof overhangs, etc.*).

5) Using attractive and complementary exterior finish materials (*stucco and siding; a future green roof would add further interest to the exterior appearance of the building*).

- D. Whether the proposed improvements will not materially adversely affect any natural resources in the community, except when there is no feasible and prudent alternative to the proposed location of the improvements. For purposes of this clause, "natural resources" shall include, but not be limited to, all mineral, animal, botanical, air, water, land, timber, soil, quietude, recreational, historical, scenic and aesthetic resources.

Comment: The subject property is located on Sunfish Lake, and within the Shoreland Overlay District. Future use of the lot shall make it a priority to consider the preservation of natural areas within the lot and the protection of water quality by minimizing the removal of vegetation and maximizing the control of stormwater runoff, erosion, and any other impactful water-borne substances associated with residential development (fertilizer and pesticides, automobile oils and fluids, etc.). A significant amount of grading will be taking place with the

construction of the new home and driveway, so that it is of particular importance that erosion and sediment control measures described in the demolition plan be adhered to, in addition to any recommendations from the City Engineer.

- E. Whether the proposed site and improvements shall have an appearance that will not have an adverse effect upon adjacent residential properties.

Comment: The proposed home and garage are positioned at a different location on the property than the existing home and will be higher up in elevation. There are no neighboring homes in close proximity to this new location, however the proposed home is likely to be somewhat more visible to surrounding properties as a result of its increased elevation. Significant existing tree coverage on the parcel to the north will provide natural screening from that property, while the parcel to the west has little existing natural screening along its property line. The applicants are intending to plant 12 trees to the west of the new home, including several conifer trees, which will provide new screening to the west. It should also be noted that there is currently no home on the parcel immediately west of 393 Salem Church Road, so that the impact from the new home location is significantly reduced in that direction. The Planning Commission should make a finding that proposed plantings are sufficient to provide adequate screening from adjacent properties.

- F. Whether the proposed site improvement complies with drainage requirements, as provided in Section 1216.04 of the Zoning Ordinance.

Comment: The City Engineer has reviewed the proposed site improvements and provided comments in Exhibit M.

SUMMARY AND RECOMMENDATION

The applicants are requesting approval of a Major Site and Building Plan review to allow the construction of a new home and garage at 393 Salem Church Road. Planning staff recommends approval of the Major Site and Building Plan based on finding that the proposal will have minimal impact on site conditions related to vegetation, land alteration, or neighboring property. The City Engineer is requesting additional stormwater and drainage information for review prior to approval of the project. In consideration of this, the Planning Commission may choose to:

- A. Table the requested site and building plans for consideration at the next Planning Commission meeting, until the applicant has had an opportunity to provide requested stormwater and drainage information to the City Engineer for review.
- B. Recommend approval of the proposed site and buildings plans, based on the condition that prior to consideration of the application by the City Council, the applicant provides the City Engineer the requested stormwater and drainage information (as described in the Engineers report, Exhibit M), including providing the location and dimension of existing stormwater drainage systems & natural

overland drainage patterns, calculations of stormwater runoff prior to construction, and a drainage plan of the developed site prepared by a qualified engineer which delineates the direction and rate of stormwater movement conveyed from the site and sets forth the areas of the site where stormwater will be allowed to collect.

Approval would also be based on the following conditions:

1. The applicant shall provide proof that upon completion of installation of lights, all lights or combination of lights which cast any light on residential property or over public water do not exceed one foot candle (meter reading) as measured from the edge of water abutting the subject property, and from adjacent property lines. This may be demonstrated by providing evidence of at which distance out from proposed light fixtures meter readings will fall below the required one foot candle measurement.
2. The applicant meet all other stormwater, grading, erosion control and septic measures addressed by the City Engineer in his report (Exhibit M).
3. The applicant must comply with the recommendations of the City Septic Systems Specialist pertaining to the removal of existing septic areas and installation of the proposed primary and secondary septic areas.
3. The applicants must comply with City Code demolition requirements, including completing a building permit application and submitting it along with a completed *Dakota County Intent to Perform Demolition* form to the Dakota County Environmental Services Division, as described in the "General Permit Form" provided on the Sunfish Lake website. All requirements associated with these permits must be complied with.
4. Should the Planning Commission decide against approval of the solid fence ordinance amendment to permit solid fences less than three feet in height (which will be brought before the Planning Commission at its April 17th, 2013 meeting) the applicant will be required to either:
 - a. Revise their landscape plan so as to remove any solid wall fences, which are currently prohibited by Zoning Ordinance, prior to consideration of their request by the City Council.
 - b. Apply for a variance to be able to construct a solid wall fence, which will require approval from the Planning Commission at its May 2013 meeting, and will delay consideration of the proposed site and building plans by the City Council until its June 2013 meeting.
5. Based on the recommendation of the City Forester, the applicants install all proposed trees prior to the project undergoing final site inspections.

6. Prior to receiving a certificate of occupancy, the applicant must contact planning staff to arrange pre- and post-construction site visits, whereby staff can confirm that site and building plans and associated approval conditions have been implemented accordingly. The inspections are separate from other inspections that may be necessary by the City Building Inspector, City Septic System Inspector, City Engineer, or other individuals. The cost of site inspections is \$75 each and payment of this amount shall be the responsibility of the property owner.

c: Cathy Iago, City Clerk
David Neameyer, City Building Official
Ron Wasmund, City Septic System Inspector
Don Sterna, City Engineer
Jim Naves, City Forester
Tim Kuntz, City Attorney
Tim Schacker and Kristin Hoelscher-Schacker, Applicants
Wayne Branum, AIA, Sala Architects, Inc.



PERFORMANCE
DESIGN

2023 Lake N. Dr. 100 Minneapolis, MN 55401 | 612.330.2029

ADDRESS:
SALA Architects, Inc.
904 South 4th St.
Minneapolis, MN 55402
Wayne Bratton, AIA, CID
651-351-0261

OWNER:
Tim and Kristin Schacker
North Oaks, MN

THIS DRAWING MEANS 12" X 18" ON
FULL SIZE SHEET

1. 3/24/2023 PERMIT REVIEW
NO DATE ISSUED FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

SIGNATURE

TYPED OR PRINTED NAME: JESSIE REE

DATE: 2-28-2023 REC. NO.: 5528

PROJECT NAME

SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

DRAWING TITLE:
SITE AND GRADING PLAN

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PERFORMANCE
DRIVEN
DESIGN.

250 3rd Ave. N, Ste 400 | Minneapolis, MN 55401 | (612) 338-2020

ARCHITECT:

SALA Architects, Inc.
904 South 4th St.
Stillwater, MN 55082
Wayne Branum, AIA, CID
651-351-0961

CLIENT:

Tim and Kristin Schacker
North Oaks, MN

THIS DRAWING APPEARS ON 12" x 18" DWG
FULL SIZE SHEETS.

1 3-16-2023 PERMIT REVIEW

NO DATE ISSUED FOR

I HEREBY CERTIFY that this plan, specification, and schedule of values were prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

SIGNATURE: [Signature]

TYPED OR PRINTED NAME: JASON JOSE

DATE: 3-16-2023 REG. NO.: 5152

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PROJECT NAME:

SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

DRAWING TITLE:
LAYOUT PLAN

FILE: J:\STANDARD DRAWING\AUTOCAD\L3.0_LTE.dwg
DRAWN BY: JAD
CHECKED BY: JAD
PROJECT NO.: 20202
DRAWING NO.: **L3.0**



SALA Architects, Inc.
904 South 4th St.
Stillwater, MN 55082

Wayne Branum, AIA, CID
651-351-0961

CLIENT:
Tim and Kristin Schacker
North Oaks, MN

THIS SQUARE APPEARS 1/2" x 1/2" ON
FULL SIZE SHEETS.

1	3-19-2013	PERMIT REVIEW
NO	DATE	REVIEWING

NO	DATE	REVISION
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I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

SIGNATURE: _____

TYPED OR PRINTED NAME: JASON A. RINE
 DATE: 1-18-2013 DEC NO: 43182

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PROJECT NAME: SCHACKER RESIDENCE

393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

DRAWING TITLE:
OVERALL PLANTING PLAN

FILE:130080000 Drawing: LK130081 L4.0 PLANTING PLAN

DRAWN BY: SMO

CHECKED BY: JPA

PROJECT NO: 130080

DRAWING NO:

L4.0

PLANT SCHEDULE OVERALL

[illegible]

NOTES
REFER TO SHEET L4.1 FOR LANDSCAPE NOTES



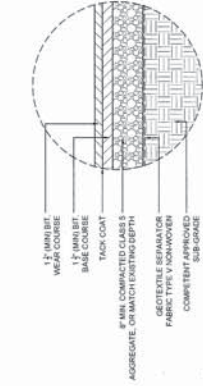
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PERFORMANCE
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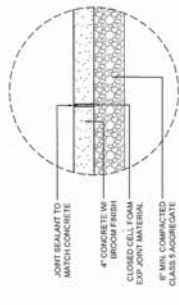
250 3rd Ave. N. Ste. 401 Minneapolis, MN 55401 612.338.3209

CLIENT:
SALA Architects, Inc.
904 South 4th St.
Stillwater, MN 55082
Wayne Brunum, AIA, CID
651-351-0961



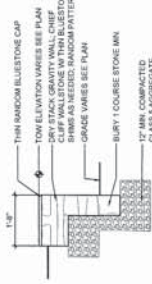
1 BITUMINOUS DRIVEWAY

Scale: 1/2"=1'-0"



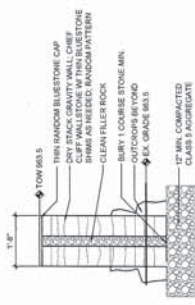
2 4" CONCRETE

Scale: 1/2"=1'-0"



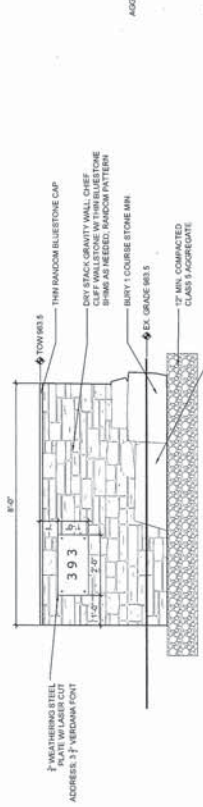
3 STONE RETAINING WALL (TYP)

Scale: 1/2"=1'-0"



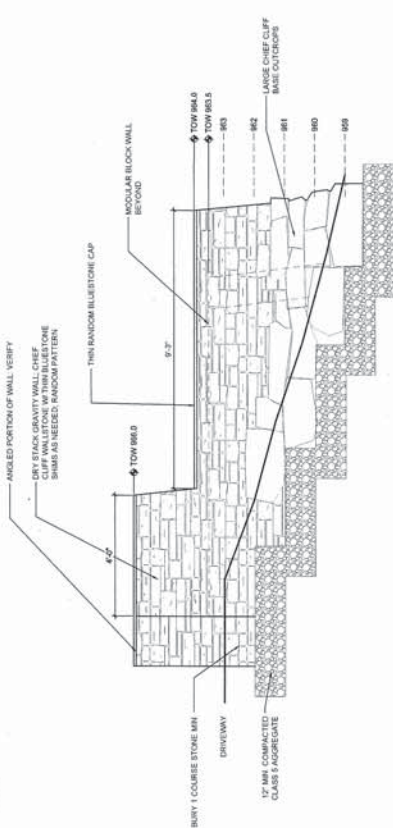
4 DRYSTACK GRAVITY WALL SECTION

Scale: 1/2"=1'-0"



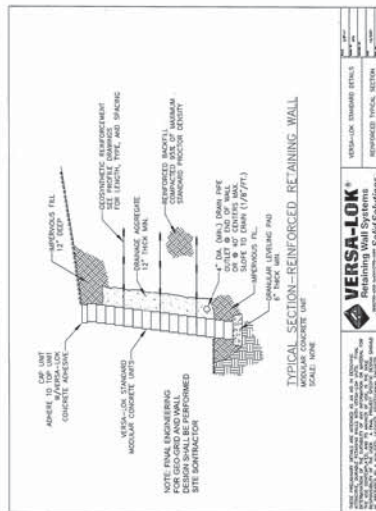
5 ADD ALTERNATE 1: STONE WALL WITH ADDRESS

Scale: 1/2"=1'-0"



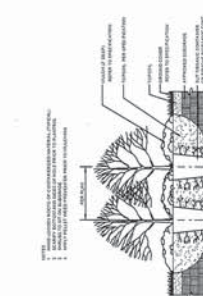
6 STEPPED STONE WALL

Scale: 1/2"=1'-0"



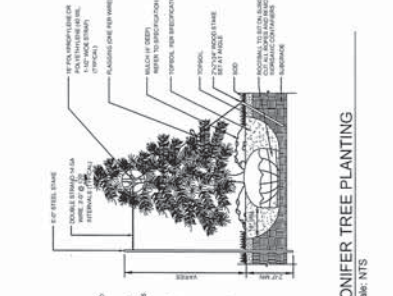
7 MODULAR BLOCK RETAINING WALL

Scale: 1/2"=1'-0"



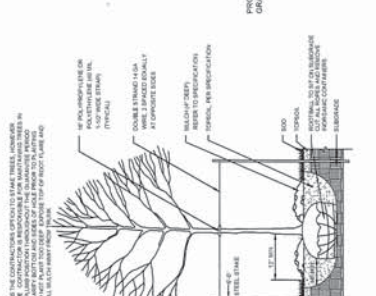
8 COURTYARD WALL E.L.

Scale: 1/2"=1'-0"



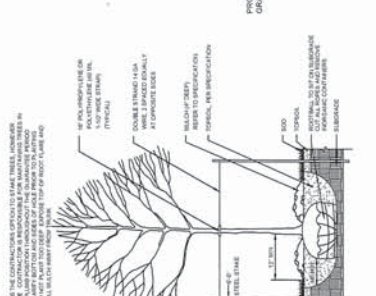
9 SHRUB PLANTING

Scale: NTS



10 CONIFER TREE PLANTING

Scale: NTS



11 DECIDUOUS TREE PLANTING

Scale: NTS

DETAILS

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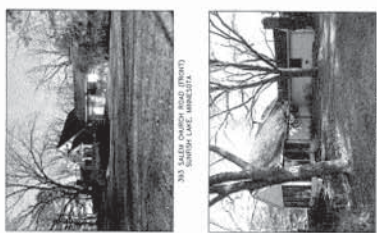
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PREPARED FOR:
TUDOR H. SCHACKEL, M.D.
KRISTEN HOOVER-SCHACKEL
393 SUTHER CHURCH ROAD
SUNSHINE LANE, MARINETTA 30118
tashackel@aol.com
tashackel@att.net

ARCHITECT:
WAYNE BRAMM, AIA, OD
SALA ARCHITECTS, INC.
904 SOUTH 4TH STREET
ST. LOUIS, MISSOURI 63022
PHONE: 631-331-0961

ZONING REQUIREMENTS	
ZONED R-1: SINGLE FAMILY RESIDENTIAL MINIMUM LOT AREA: 10,000 S.F. (0.23 AC.) MINIMUM LOT WIDTH: 200 FEET MINIMUM LOT DEPTH: 100 FEET MAXIMUM LOT AREA: 200,000 S.F. (4.65 AC.) MAXIMUM BUILDING HEIGHT: 28.10 FEET MAXIMUM GROUND COVER: 35% (30% FOR LOT AREA LESS THAN 10,000 S.F.) MAXIMUM LOT COVERAGE: 35% (30% FOR LOT AREA LESS THAN 10,000 S.F.) MAXIMUM LOT AREA: 200,000 S.F. (4.65 AC.) MAXIMUM LOT WIDTH: 200 FEET MAXIMUM LOT DEPTH: 100 FEET MAXIMUM LOT AREA: 200,000 S.F. (4.65 AC.) MAXIMUM BUILDING HEIGHT: 28.10 FEET MAXIMUM GROUND COVER: 35% (30% FOR LOT AREA LESS THAN 10,000 S.F.) MAXIMUM LOT COVERAGE: 35% (30% FOR LOT AREA LESS THAN 10,000 S.F.)	LOT COVERAGE: MINIMUM LOT AREA: 10,000 S.F. (0.23 AC.) MINIMUM LOT WIDTH: 200 FEET MINIMUM LOT DEPTH: 100 FEET MAXIMUM LOT AREA: 200,000 S.F. (4.65 AC.) MAXIMUM BUILDING HEIGHT: 28.10 FEET MAXIMUM GROUND COVER: 35% (30% FOR LOT AREA LESS THAN 10,000 S.F.) MAXIMUM LOT COVERAGE: 35% (30% FOR LOT AREA LESS THAN 10,000 S.F.)

KEMPER & ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS

771 OLD HICKORY S.W.
NEW BRUNSWICK, NEW JERSEY 08852
609-431-0201
FAX 609-431-0805
Email: kemper@pro-sa.net
www.kempersurvey.com

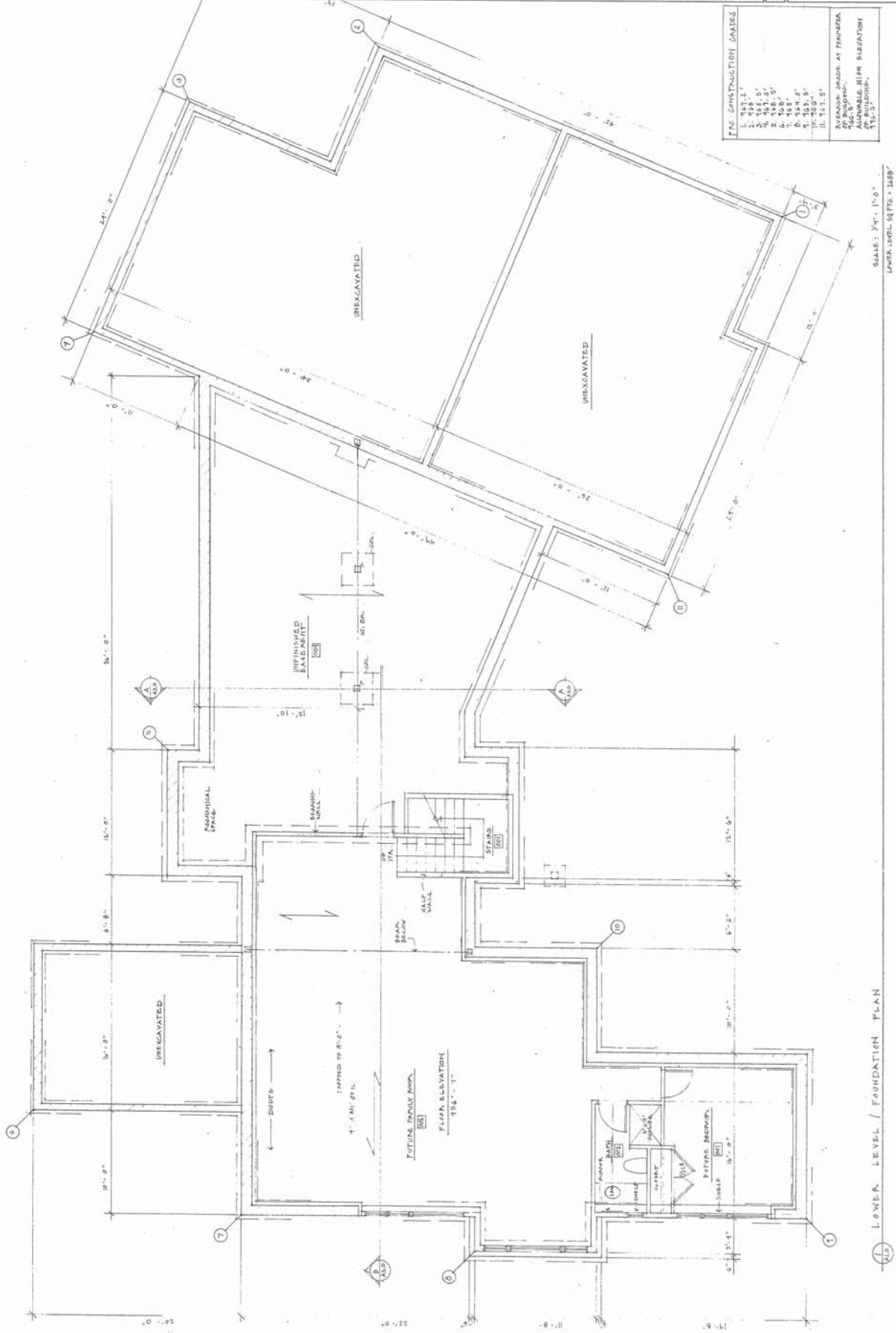
CERTIFICATE OF SURVEY

ARCHITECT
SHACKER RESIDENCE
 10000 Sunfish Lake, Minnesota
 55420-1000
 TEL: (953) 700-8000
 FAX: (953) 700-8000
EXCELLENCE
 10000 Sunfish Lake, Minnesota
 55420-1000
 TEL: (953) 700-8000
 FAX: (953) 700-8000
RESIDENTIAL
 10000 Sunfish Lake, Minnesota
 55420-1000
 TEL: (953) 700-8000
 FAX: (953) 700-8000
 WWW.SHAKE.COM

SCHACKER RESIDENCE
 Sunfish Lake, Minnesota

Project Number: 10000
 Project Architect: J.Y.
 Drawn By: J.Y.
 Date of Issue: 9-15-13

Sheet No. **A1.0**





ARCHITECT: J.E. SCHACKER
 1000 W. WISCONSIN AVE.
 SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.333.3333
 FAX: 414.333.3333
 WWW.JESCHACKER.COM

CLIENT: SUNNYSIDE RESIDENCE
 1000 W. WISCONSIN AVE.
 SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.333.3333
 FAX: 414.333.3333

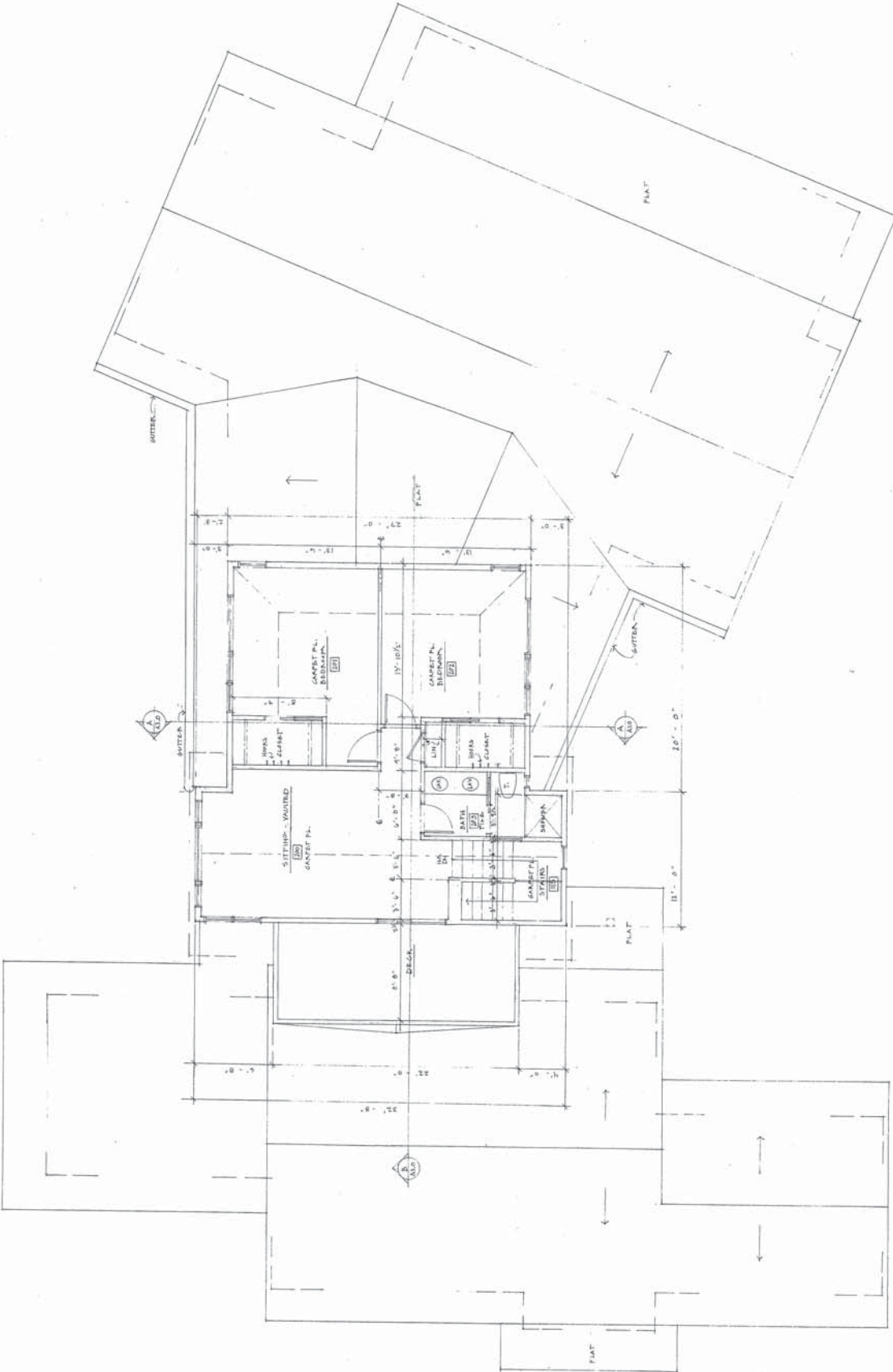
PROJECT: SUNNYSIDE RESIDENCE
 1000 W. WISCONSIN AVE.
 SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.333.3333
 FAX: 414.333.3333

DATE: 10/1/03
 DRAWN BY: J.E. SCHACKER
 CHECKED BY: J.E. SCHACKER
 SCALE: 1/4" = 1' - 0"

SCHACKER RESIDENCE Sunfish Lake, Minnesota

Project Number: 12152
 Project Architect: J.E. Schacker
 Drawn By: J.E. Schacker
 Date of Issue: 10/1/03

Sheet No. **A1.2**



SCALE: 1/4" = 1' - 0"
 UPPER LEVEL SQ. FT. = 436

1. UPPER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



March 18, 2013

City of Sunfish Lake
City Planner, Alan Brixius
4800 Olson Memorial Highway, Suite 202
Golden Valley, MN 55422

Planning Commission and City Council

Ref: Site and Building Plan review for a new Residence
Tim Schacker and Kristin Hoelscher-Schacker Residence
393 Salem Church Road
Sunfish Lake, MN 55118

SALA Architects, Inc., LHB Corporation, Jason Aune Landscape Architect and Mark Kemper of Kemper & Associates have prepared the attached submission documents for your consideration. Please address all questions you may have to Wayne Branum at SALA Architects.

We have attached a Title Insurance document as proof of ownership.

The structure is a single-family residence with an attached garage and screened porch. The maximum height is within the zoning requirements and the exterior materials proposed are noted on the drawings. All of the exterior lighting is down lighting attached to the building. Most fixtures are recessed and integrated into the overhangs. The site is located in a buffer zone for aircraft noise. We will incorporate noise abatement standards provided by the Metropolitan Councils Builders Guide, March 2006. Patios, walks and other site landscaping information is described and noted in documents provided by LHB.

We believe we have provided all of the applicable materials and information required under section 1208.05 of the ordinances except the perk test due to the winter conditions. We have provided all of the information regarding the proposed septic system that we can at this time and have engaged a perk tester, (Dave Brown) to complete the site testing as soon as weather conditions make it possible. The submitted septic information has been provided by Mr. Brown and is based on his experience in the area and soils information accessible to him at this time. We ask that you consider our application with the understanding that the perk test information will be provided and approved before any application for a building permit is submitted.

SALA ARCHITECT
SALAARC.COM

MINNEAPOLIS
T 612.379.3037
F 612.379.0001
326 E HENNEPIN AVE #200
MINNEAPOLIS, MN 55414

STILLWATER
T 651.351.0961
F 651.351.7327
904 SOUTH 4TH STREET
STILLWATER, MN 55082

Thank you for your consideration,

Wayne Branum, AIA

3-14-13

**OUTLINE SPECIFICATIONS
SCHACKER RESIDENCE**

SUNFISH LAKE, MN

GENERAL REQUIREMENTS

The scope of the work shall include the Schacker Residence, Sunfish Lake, MN, as covered in the schematic design preliminary documents, dated 3-14-13. The Owner will provide all required site survey information. The Contractor shall provide preliminary cost information for all necessary labor, materials and equipment to complete all demolition, site work, concrete, carpentry, plumbing, heating, electrical, finishes, appliances, cabinetry and accessories as noted or indicated on the Drawings.

Costs for the building permits, demolition permits, landfill taxes, use taxes, sales tax and other charges relative to construction of this project shall be included in the preliminary cost estimate.

Demolition

1. Provide an allowance for the demolition of the existing house on the site Including the foundation. Fill the foundation area in compacted lifts with granular free draining material. Fill in existing septic tanks per required codes. Assume the existing well will be used for the new building if possible and capped if abandoned.

Site Work

1. Contractor shall provide all necessary labor, material and equipment to complete all site work, excavation, utilities, below grade rigid insulating and drain tile as required, or noted in these documents.
2. Contractor shall provide all grading as required. Grading shall include both rough and finish grading per drawings and as required to provide proper drainage away from the site and building.
3. Every effort shall be made by the Contractor and subcontractors to leave remainder of the site undisturbed.
4. Landscaping other than walks and patios are not included in this contract.
5. Provide an allowance for an asphalt driveway indicated on the site plan.
6. Provide concrete patios and walks in the preliminary estimate.

Concrete

1. All concrete construction to be performed per design code: ACI 318, most recently adopted edition.
2. All footings shall be formed to meet sizes noted or indicated on drawings and be reinforced with a minimum of (2) #5 continuous reinforcing rods. Footings to be poured on undisturbed soil. All exterior footings to have a minimum soil coverage from the bottom the footing to finished grade of 4'-0" for frost protection.
3. Footings are designed for an assumed soil bearing capacity of 2000 psi. If in doubt of the true capacity of the soil, the Owner shall obtain assistance of a soils engineer.

Masonry

1. All work shall be laid plumb, true and square with filled joints.
2. All foundation walls to be of concrete block vertically reinforced as noted on the drawings and horizontally reinforced with "Dur-O-Wall" or equal located every third course. See plans for additional reinforcing.
3. Damp-proofing, where required, to be a brushed-on asphalt mastic, covered with 6 mil. poly.
4. Provide 2" rigid insulation on exterior side of all foundation walls.

Metals

1. The Roofing Contractor shall be responsible for providing galvanized metal flashing as required or as indicated on drawings. Color to be selected by Owner and Architect.
2. The Roofing Contractor shall be responsible for providing galvanized metal scuppers, rain diverters, gutters and down spouts as required or as indicated on drawings. Final selection to be approved by Owner and Architect.
3. Roof vents shall be continuous ridge vents.
4. Soffit vent and screen porch screen to be bronze screen.
5. Vertical Siding to be 24 gauge minimum standing seam panels by Una-Clad or equal. Installation shall include corners and trim elements by Una-Clad system UC-2

Carpentry/Finishes

Structural Woods

1. Stud walls to be 2 x 4 interior (unless noted otherwise) and 2 x 6 exterior of Stud Grade SPF, or equal.
2. Dimension lumber shall be No. 2 Douglas Fir or equal for beams, headers, floor joists and rafters.
3. Wood beams to be stress graded Truss joist micro-lams or equal as indicated on drawings.
4. Wood headers shall have a full 3" length of bearing at each end or as noted on drawings.
5. All beams and joists not bearing on supporting members shall be framed with "Simpson Strong Tie" joist hangers or equal or as indicated by structural plan.
6. Wood sills in contact with masonry or concrete to be pressure impregnated with preservative.
7. Sub-floor shall be 3/4" T & G plywood, A.P.A. grade stamped.
8. Engineered roof trusses designed by supplier. Provide shop drawings for review by Architect.
9. I-joists to be LPI-32 series. Assume upper floor framing to be 9-1/2" at 16" OC. Assume main floor framing to be 11-7/8" at 16" OC. Assume flat roof areas to be framed with 14" at 16" OC.
10. Slope roof areas and flat roof areas at the peak of sloped roofs shall be framed with engineered trusses at 24" OC.

Exterior Sheathing and Trim

1. Exterior wall sheathing to be 1/2" CDX Exterior Grade plywood. No OSB
2. Roof sheathing to be 5/8" CDX Exterior grade plywood, A.P.A. grade stamped.
3. Fascia and trim to be 2x size concrete trim elements by James Hardie or equal.

4. Soffit to be 7/16" smooth faced concrete sheet goods by James Hardie or equal. Joints are to be covered with a 3/4" x 2-1/2" batten 2'-0" OC placed perpendicular to the eave line.
5. **Stucco**, Provide a 3 coat traditional stucco system including a drainage plain, wire lath, cement scratch and brown coats finished with an acrylic pre-colored stucco by Synergy or equal.

Interior Finishing Wood

1. Window and door trim to 3/4" x 2-1/2" clear maple. Base to be 1/2" x 3-1/2" clear maple. Note: closets and storage areas, Contractor is to select material and not use the less desirable pieces from the general stock of finish materials.
2. Interior doors to be 1-3/8" solid core plain sliced maple. Doors to be 7 feet high.
3. Stair treads and treads shall match wood floor or carpet, whichever material is adjacent to the head or foot of the stair.
4. All Gypsum Board shall be applied using r-channels to provide sound attenuation.

Thermal and Moisture Protection

1. Insulation in walls of the house with closed cell spray foam insulation, R-19 minimum.
2. Insulation in flat ceiling spaces to be closed cell spray foam, R-38 minimum, or equal. Insulation in truss roof areas to be Minimum R-50. Insulation type contractor's choice or best possible for sound attenuation.
3. Vapor Barrier:
The Contractor is to ensure that the building is to be constructed as air-tight as possible, and that all penetrations and vapor barrier within the exterior walls and roof cavities are sealed.
Install vapor barrier in widest sheets to avoid splices and overlap. At ceilings, overlap wall vapor barrier. Where joints must occur, lap and ensure that poly joints occur at a framing member or other solid backing.
All joints must be sealed with contractor sheathing tape or poly spray adhesive.
At sub-floor and slab, seal vapor barrier to trimmer studs of windows and doors.
At windows and doors, seal vapor barrier to trimmer studs of windows and doors.
To seal the ceiling vapor barrier to an interior wall partition, spray poly/adhesive to interior partition wall top plate (edges) and overlap vapor barrier down a minimum of 6".
At electrical boxes and for electrical wire holes, use contractor sheathing tape and or foam for all penetrations in the vapor barrier.
4. Provide flashing as required.
5. Provide pre-finished galvanized metal drip cap at window heads, door heads, and at all exposed locations as necessary.
6. Sloped Roofing: provide a rubberized membrane underlayment to extend from the eaves to a point 3'-0" minimum beyond the interior wall line. Membrane underlayment should overlap adjacent strips of underlayment six inches minimum. Ice shield to be "Protecto-Wrap" available through W.J. White, or "Ice and Water Shield" available through Grace.
Follow sound attenuating practices for venting roofs per the Metropolitan Council Builders Guide, March 2006.
7. Provide 15# felt underlayment over the entire area to be roofed. Roof shingles to be rated 40 year or better warranty. Color to be selected.

8. Provide vapor permeable house wrap. Tape and lap seams in such a manner as to make them weatherproof.
9. Flat roofed areas to be EPDB membrane, 60 mil. Min. Roofing system to be compatible with future green roof applications.

Windows

1. Provide pricing for Pella Architect Series clad windows and doors. Provide windows and doors with the best sound attenuating glazing option. The final window selection will be based on the overall energy and sound attenuating performance capabilities.
2. Window hardware and screen surround color to be selected by Owner and Architect.

Doors

French doors to be Pella metal clad doors.
Sliding patio doors to be Pella.

Finishes

1. Gypsum board to be 1/2" typical at walls and 5/8" typical at ceilings, screwed on. Drywall to be fire taped only where covered by wood. No spray texture to be used on any surface. Use masonry backing board in shower and tub areas.
2. Exterior trim and soffits to be painted. Assume primer and 2 coats of an appropriate paint for concrete siding products.
3. Interior windows, doors, and trim to be natural wood finish, sanded, sealed and two coats of Benjamin Moore, or equal, polyurethane.
4. All interior gypsum board walls to be painted with two coats of Benjamin Moore, or equal, flat latex over one coat recommended primer. Up to 4 colors.
5. Floor surfaces are as indicated on plans. Wood floors to be 3-1/4" white oak with a clear finish. Tile floors, allow for a tile material allowance of \$10.00 per SF. Carpet floors, allow for an installed cost of \$50 per SQ YD.

Accessories

1. Fire protection specialties (smoke alarms) shall be provided as required by code.
2. Security system to be provided according to Owner's requirements.

Appliances and Cabinetry

1. Cabinetry indicated on drawings to be custom built.
2. Kitchen, bedrooms, office and bathroom cabinetry and shelving to be Cherry with a clear finish. Cabinet doors to be full overlay flat panel doors with Euro style hinges. Cabinet interiors to be white melamine.
3. Counter tops to be mid range granite or solid surface.
4. All open adjustable shelving as indicated in the plans are to have non-metal shelf supports.
5. **APPLIANCES**
Allowance \$25,000
LIVING ROOM
Gas fireplace: allowance \$5,000 installed without face.

Plumbing and Heating

Contractor to provide labor and materials for installation of plumbing and heating system shown, noted or specified in these documents.

1. Provide high efficiency gas fired FA furnace system for entire house.
2. Plumbing fixtures to be selected by Owner. Provide allowance for mid-range Kohler or equal.
3. Provide sound attenuating installation of venting systems per Metropolitan Council Builders Guide practices for a building in a buffer zone location to the MSP airport.

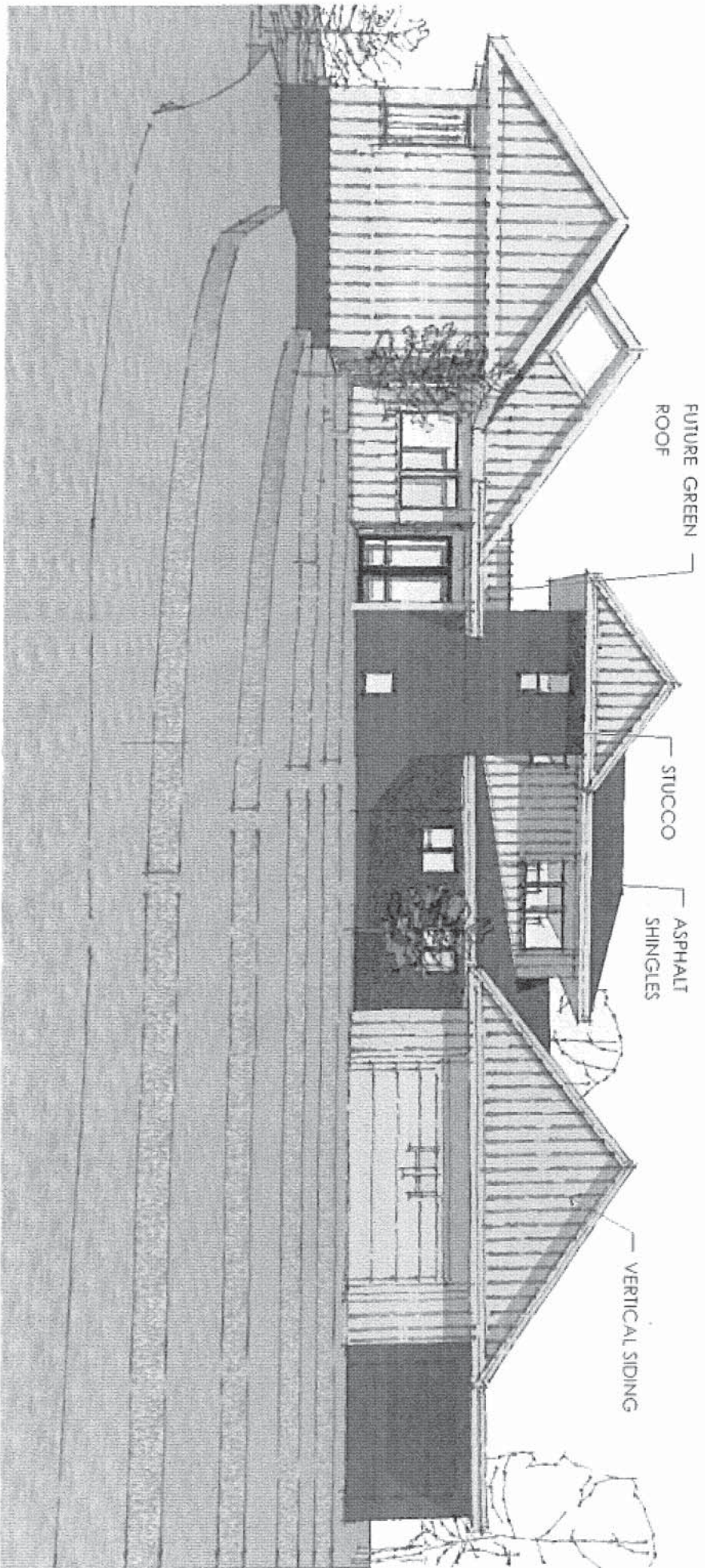
Electrical

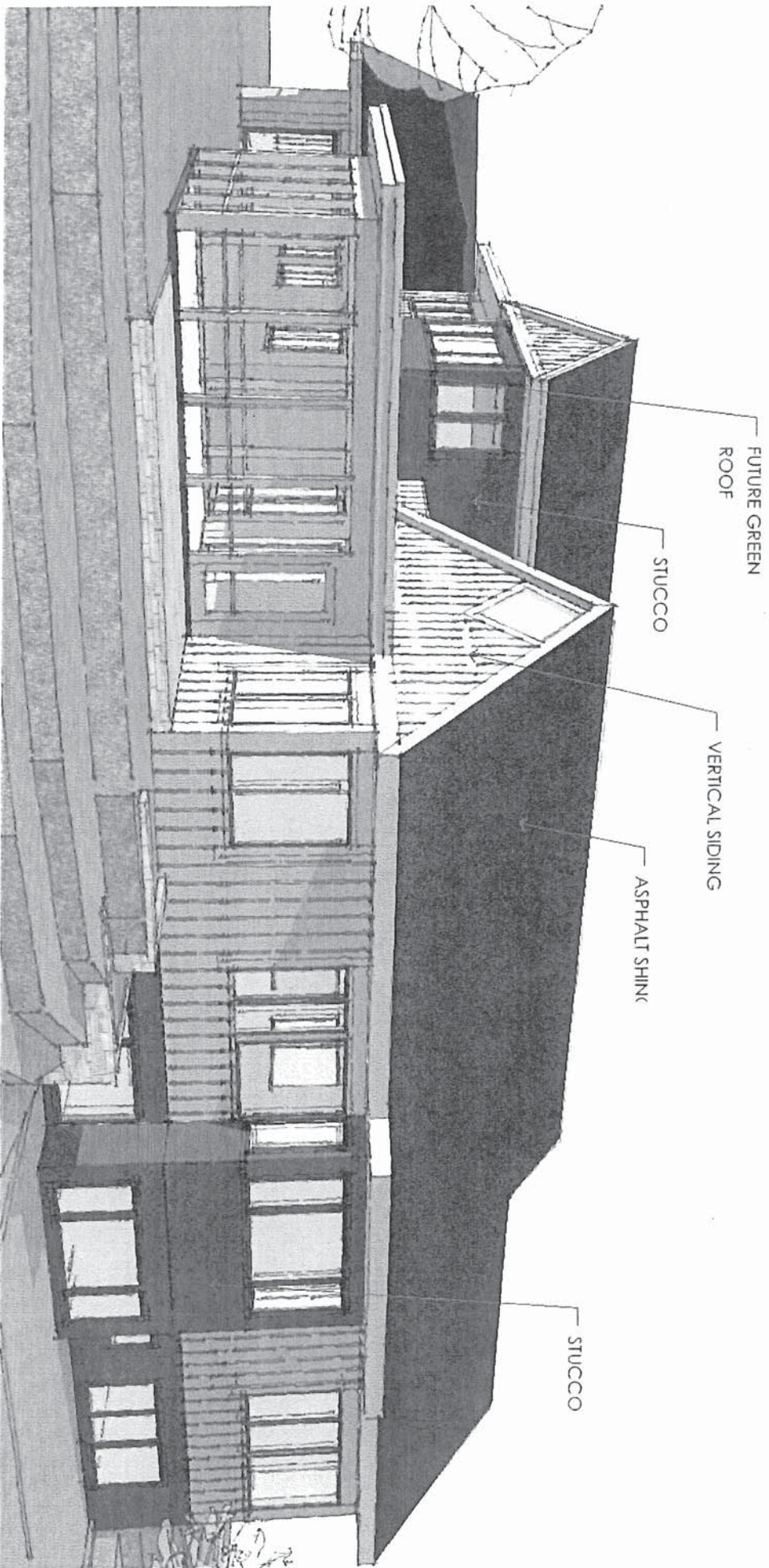
Contractor to provide design, labor and materials for installation of electrical system as shown, noted or specified in these documents. See electrical plans.

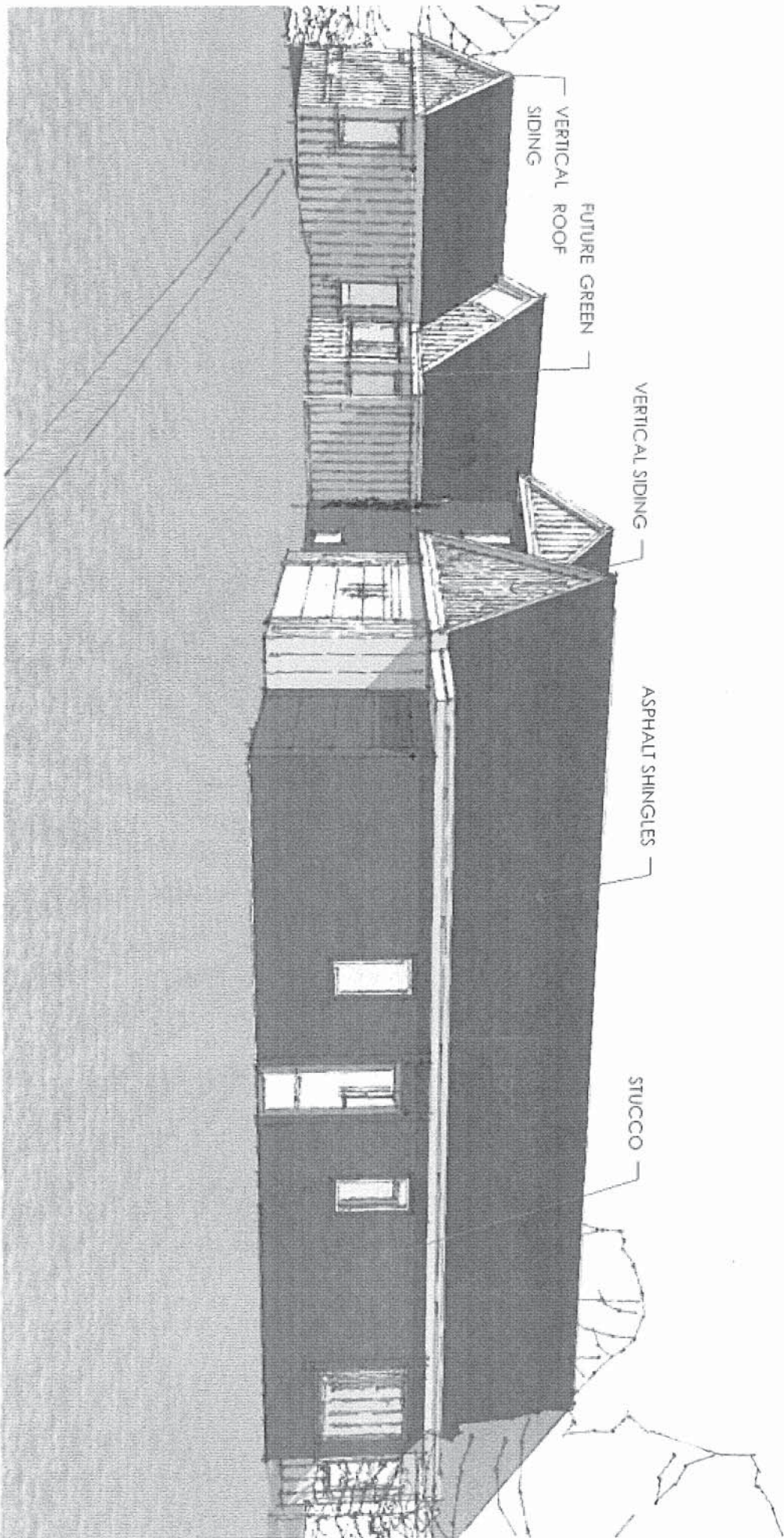
1. All work shall comply with state and local codes and ordinances.
2. Provide fixture allowance of \$2,000.00 for decorative selections by Owner.
3. Assume the majority of lighting to be recessed ceiling fixtures. Provide for 70 Halo H-7 fixtures in the cost estimate.

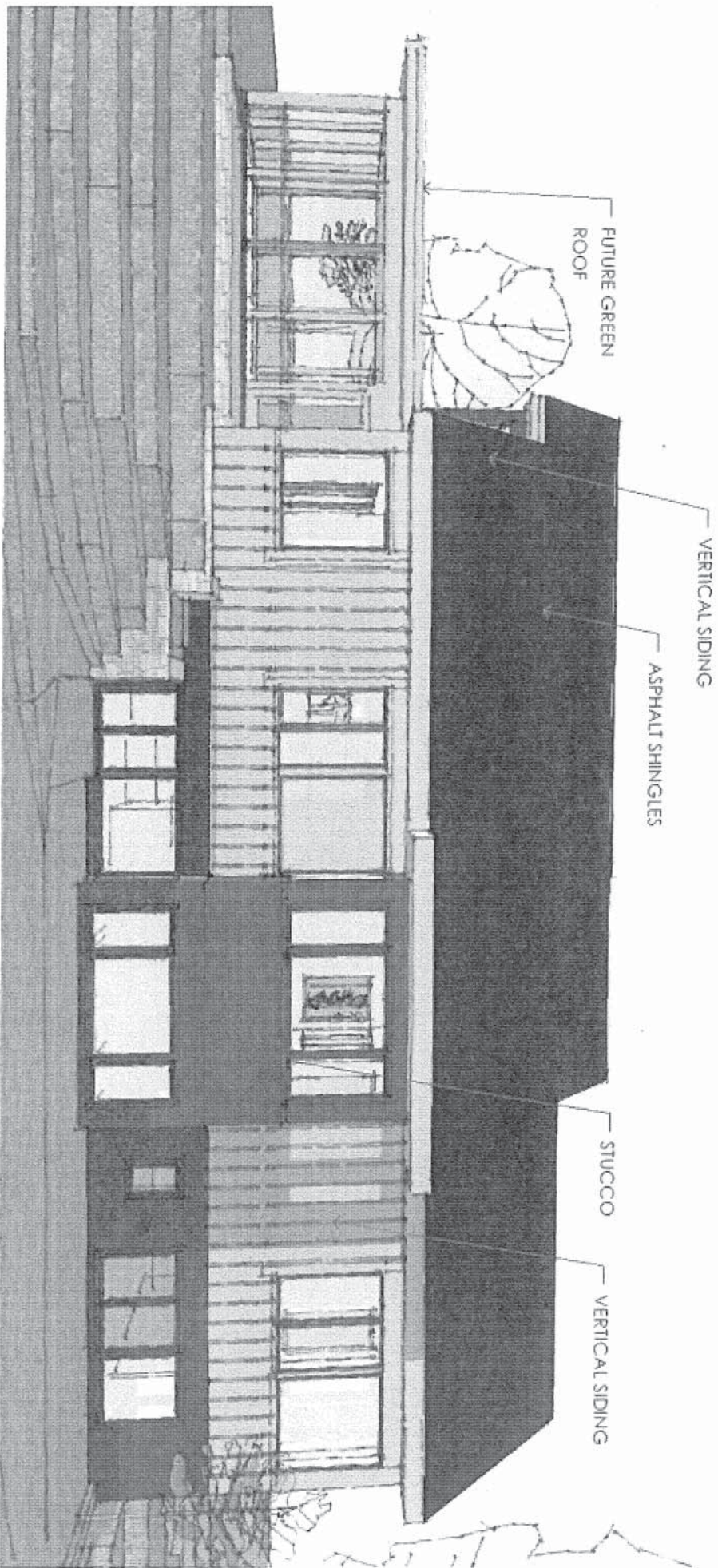
LIST OF ALTERNATES

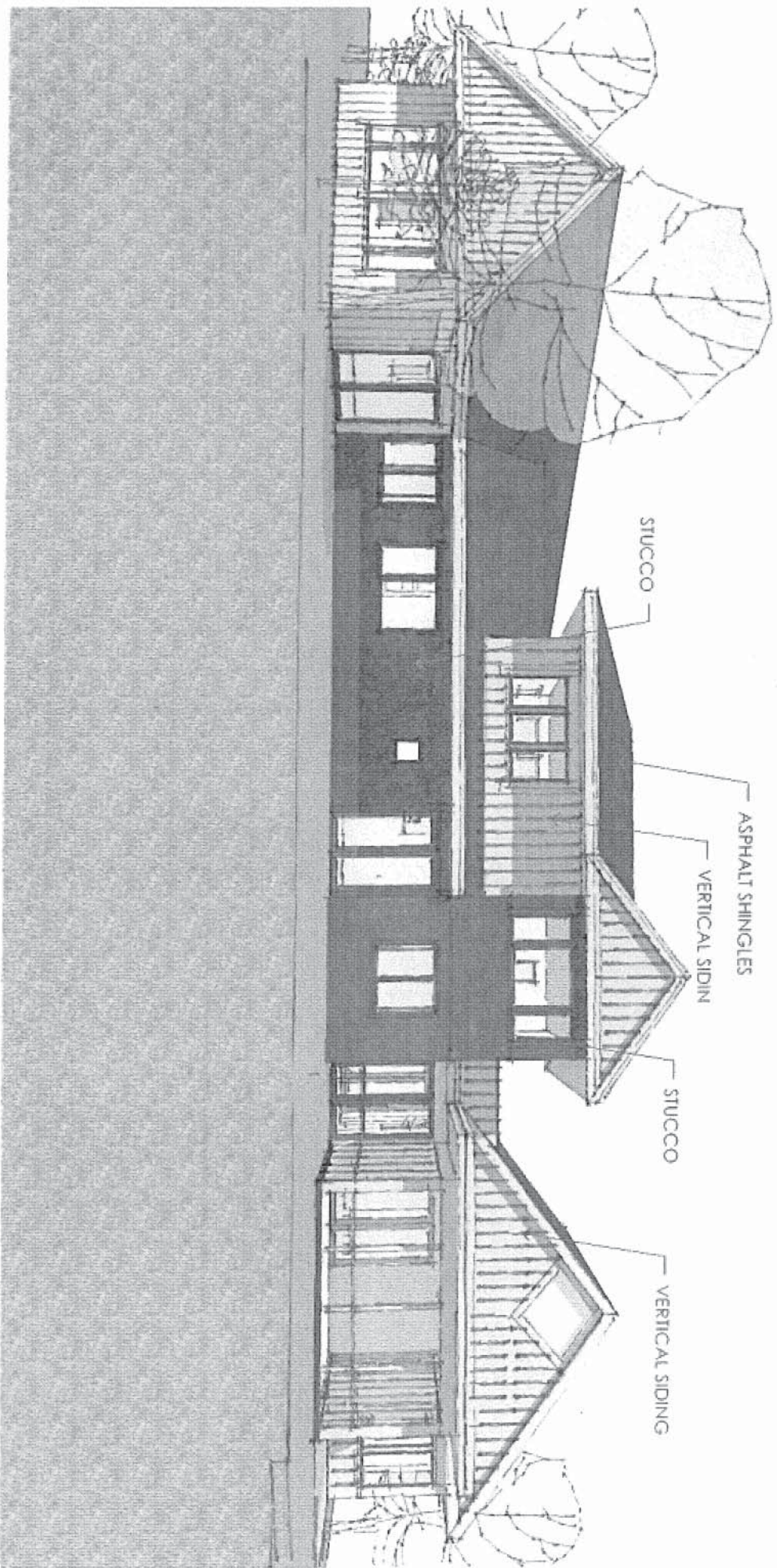
1. Walks and patios with New York Blue Stone set with mortar on a sub slab.
2. Walks and patios with New York Blue Stone dry laid over a built up compacted base.
3. Vertical siding with James Hardie or equal cement siding smooth sheets with battens. Include painting.
4. Replace stucco with James Hardie or equal vertical siding per #3 above.
5. Provide estimate for in-floor radiant heating with a separate FA A/C system. Assume a high efficient boiler.
6. Provide heating and cooling system per #6 above with geothermal has the energy source.
7. Provide an alternative window and door manufacturer to Pella only if it can result in cost savings and be equal in performance.











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CAST Solid Bronze LED Deck Light

Product Information (CDL1LED1, CDL1LED1A)

The Industry's Most Durable LED Deck Light – Ideal for Walls, Decks and Docks



Description:

This compact and attractive solid bronze LED deck light is a durable, reliable, and energy-efficient fixture for wall and post mounting. Amber (turtle-safe) version includes Cree amber LED light source.

Features:

- ▶ LED light source - 60,500 Hrs. (1) Cree XPE with integrated driver in replaceable module (2,700°K)
- ▶ Amber light source - (1) Cree XPE Amber LED
- ▶ 8V-24V Voltage Range
- ▶ Power factor ranges for regular and turtle-safe fixtures
- ▶ Solid bronze hood and base
- ▶ Glare-free illumination
- ▶ Pre-wired with 25' tin-coated No-Ox® marine grade wire
- ▶ Spider Splice® ready

Uses:

Suitable for downlighting when mounted on retaining walls, structure surfaces, posts and pilings. Amber version complies with Florida Fish and Wildlife Conservation Commission guidelines for beachside marine turtle habitats.

Construction:

Solid bronze hood and base; borosilicate lens; 25' tin-coated #18-2 No-Ox® marine-grade wire.

For more info on bronze:

www.cast-lighting.com/art-bronze.html

Warranty:

Lifetime warranty on all fixture components; 5-Year warranty on LED components.

Dimensions:

3.75" diameter x 1.75" height

Specifications:

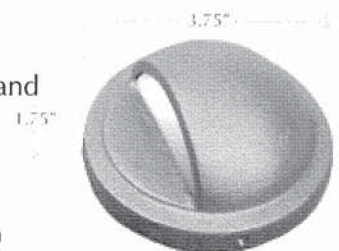
Light Source: Cree XPE with integrated driver in replaceable module (or Amber) LED with fully encapsulated electronics and robust heat management.

Input Voltage: 8v to 18v AC or DC

Input Power: 3.0 Watts; 0.8 pf

LED Light output: 120 lm (Amber: 70 lm)

Fixture output: 60 lm (Amber: 35 lm)



CDL1LED1
CDL1LED1A



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ANP Lighting D616-49-E6-49 RLM Spun Aluminum Deep Bowl Industrial Barn Light with Gooseneck Arm Extension Low Bay/High Bay

Item #: BCI1152028

[View the entire Deep Bowl Collection](#)

ANP Lighting



\$217.80

Originally \$302.50, You Save 28%

[Be the first to review this product](#)



Shipping: **Free Shipping!** [See Details](#)

Ships In: This product is made to order, and usually leaves the warehouse within 10 to 12 days after ordering.

Finish: **Galvanized**

Qty

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Product Videos

Do It Yourself: Installing an Outdoor Wall Sconce

Learn how to change out your wall sconce to update your home. Follow Justin Bergson as he shows you the step-by-step procedure in making this project a quick and simple one

Product Details for the ANP Lighting D616-49-E6-49

RLM Spun Aluminum Deep Bowl Industrial Barn Light with Gooseneck Arm Extension Low Bay/High Bay

- Max wattage based on open lamp.
- Glass enclosure reduces maximum wattage.
- Painted finishes are powder coated for a durable, scratch-resistant finish.
- White paint standard inside all painted fixtures.
- Fixtures, arms and post mounts are U.L. wet listed when installed according to manufacturers

People Also Viewed



ANP Lighting W516-41-E6-41

RLM Spun Aluminum
Vintage Warehouse
Reflector Barn...

[★★★★★ \(1\)](#)

\$187.20



Hudson Valley Lighting 371

Hudson Valley Lighting
371

[★★★★★ \(1\)](#)

\$259.00

DESCRIPTION

The H7 recessed housing is the standard in the industry for both commercial and residential applications. The wide variety of trims available allows a number of different lighting effects to be created with one basic housing. H7ICT is for installations where the housing will be in direct contact with insulation.

Catalog #	Type
Project	
Comments	
Prepared by	Date

DESIGN FEATURES

A...Housing

Aluminum construction for greater heat dissipation.

B...Socket Plate

Rigid socket plate adjusts and locks without tools for various lamp sizes.

C...Plaster Frame

Housing adjusts in plaster frame to accommodate up to 1-3/4" ceiling thickness. Plaster frame features include:

- Regressed locking screw for securing hanger bars
- Cutouts for easily crimping hanger bars in position
- Halo name embossed on plaster frame
- Galvanized steel construction. The housing can be removed from plaster frame to provide access to the junction box.

D...Junction Box

- Listed for through branch circuit wiring
- Positioned to accommodate straight conduit runs
- Seven 1/2" trade size conduit knockouts with true pry-out slots
- Slide-N-Side™ connectors

allow non-metallic sheathed cable to be installed without tools and without removing knockouts. Accepts a wider range of non-metallic sheathed cable – the standard cable types used in lighting for both U.S. and Canada.

- Allows wiring connections to be made outside the junction box

- Simply insert the cable directly into the trap after connections are made

- accommodates the following standard non-metallic sheathed cable types:
(US) #14/2, #14/3, #12/2, #12/3
(Canada) #14/2, #14/3, #12/2

E...GOT NAIL! Pass-N-Thru™ Bar Hangers

Bar Hanger Features include:

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams
- Safety and guidance system prevents snagging, ensures smooth straight nail penetration and allows bar hangers to be easily removed if necessary.
- Automatic levelling flange aligns the housing and lets you

hold the housing in place with one hand while driving nails

- Housing can be positioned at any point within 24" joist span
- Score lines allow "toolless" shortening for 12" joists
- Bar hangers may be repositioned 90°
- Bar hangers do not need to be removed from frame for shortening
- Integral T-bar clips snaps onto T-bars - no additional clips required

F...Socket

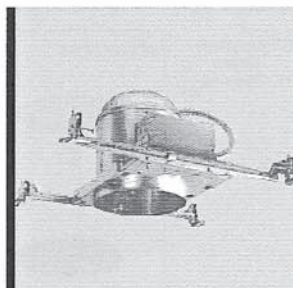
Porcelain socket with nickel plated brass screw shell, snaps into trim for consistent lamp positioning.

G...Thermal Protector

Self resetting thermal protector deactivates fixture if overheating occurs due to improper lamping.

Labels

- UL/cUL Listed
- Listed for Damp Location
- Listed for Feed Through
- Listed for Direct Contact with insulation and combustible material



H7ICT

6" Insulated Ceiling Recessed Housing

6" TRIMS

FOR USE IN INSULATED CEILINGS

FOR DIRECT CONTACT WITH INSULATION

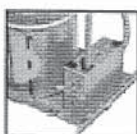
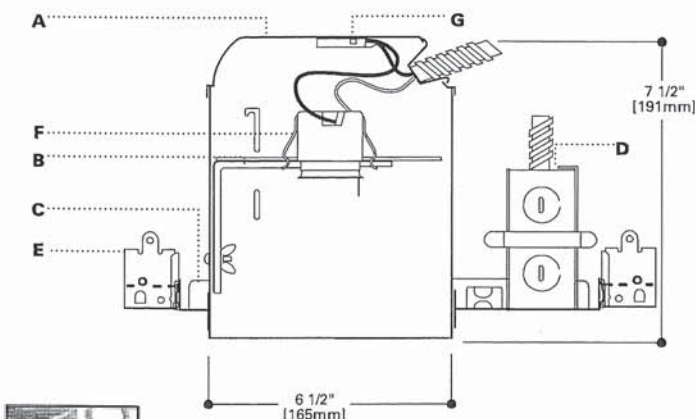
This housing is AIR-TITE when used with the following Trims:

170PS
171PS
173PS
78PAT
30 (All Styles)
430 (All Styles)
ERT712 (All Styles)
ERT713 (All Styles)
ERT725 Series

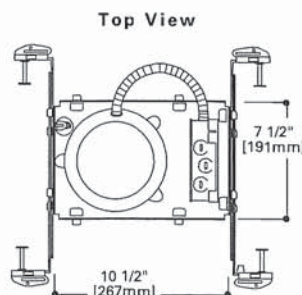


UPGRADE FEATURES:

- SLIDE-N-SIDE™ JUNCTION BOX
- GOT NAIL!™ BAR HANGERS
- PASS-N-THRU™ BAR HANGERS
- REGRESSED LOCKING SCREW
- HALO ID ON PLASTER FRAME



Slide-N-Side III™ Junction Box



Ordering information on reverse



Memorandum

To: *Alan Brixius
Northwest Associated Consultants*

From: *Donald W. Sterna, PE
WSB & Associates, Inc.*

Date: *April 2, 2013*

Re: *Site and Building Plan Review
393 Salem Church Road
City of Sunfish Lake, MN
WSB Project No. 2182-02*

Project Background

Currently, a home exists at 393 Salem Church Road which the applicant is proposing to remove and construct a new residential house in its place, and it appears that no variances will be required to construct their project. The applicant is proposing to regrade around the new home site location, including constructing a brand-new septic drain field system and well meeting current codes and regulations. The site is located along the west side of Sunfish Lake and has current access off of shared private driveway which will remain at the existing driveway location. This shared driveway has access off of Salem Church Road. The following review is only for the engineering, storm water management, and site grading issues. The building compliance and/or septic and well requirements will be handled by the City planners, and Building and Septic inspectors.

The existing impervious drainage area was not listed and this information must be provided to determine if the application is proposing to increase or reduce the impervious surface. Depending on this determination, there may or may not be a requirement for infiltration of storm water runoff management for this project. The infiltration requirement is per City requirements listed under Section 1216.04 Storm Water Management.

In accordance with the Site Plan Building Permit Application Procedures Checklist the following items need to be provided:

- Site survey must show layout of buildings, old foundations, septic systems, wells, and other site elements which currently exist on the property and those on adjacent properties to within 150 feet.
- Location, size, and elevations of any existing utilities, drainage control devices, or

- other underground facilities on or adjacent to the property, **including drainfields and wells within 50 feet of the property lines on adjacent lands.**
- Location and dimensions of existing storm water drainage systems and natural overland drainage patterns, including a calculation (by a qualified engineer) of storm water runoff before construction.
- A drainage plan of the developed site, prepared by a qualified engineer, delineating in which direction and at what rate stormwater runoff will be conveyed from the site and setting forth the areas of the site where stormwater will be allowed to collect.

Site Grading

The applicant's proposed site grading shows a positive slope away from the house foundation, therefore, should require no modifications to the proposed grading plan. The applicant is proposing retaining walls as part of the project, some of which are 4 feet in height or taller and will need to be designed and signed by a registered professional engineer in the State of Minnesota. These plans will need to be provided to the City Engineer's office for review before final building permit is issued.

Erosion Control

Site silt fence must be extended around the ash and elm trees that are to be removed on the north west corner of the proposed graded site. The total area disturbed calculations must be modified to include this area. The applicant will need to place, either silt fence or orange construction fence, around the proposed secondary drain field to prevent destruction and/or soil compaction of these areas during construction. Also, if the applicant is proposing to remove the existing septic drain field and tanks. Silt fence must be extended around any of these areas that will require excavation for removal and the site erosion control plans should be revised to show these changes. The removal of these septic systems shall be in accordance with the MPCA requirements which require the top to be removed, tanks pumped, and the bottom concrete flushed, and filled with sand to allow drainage to migrate through the old septic tank. The applicant also has the option of totally removing and properly disposing of the tank which is at their option.

The proposed, temporary stockpile location(s) need to remain to locations that are within 50 feet of a driving surface for the Sunfish Lake building ordinances. The area shown on the plans for the stock pile area appears acceptable. Also, the applicant will need to construct and maintain a rock construction entrance of approximately 50 feet in length and 50- to 20-feet wide at a point where the contractor is leaving the paved surface and entering an exposed dirt area to minimize tracking of material off the project site.

Sanitary Sewer and Well

The applicant proposes to abandon the existing septic system tank and rebuild a new system as part of the new home construction. The applicant will need to ensure the tanks are pumped out, and the bottom concrete slab must be broken up and backfilled with suitable grading material to allow for drainage to pass through.

As previously mentioned in the memo, the Contractor will need to install, prior to any excavation, the protective fencing around the secondary septic drain field, as well as around the existing and proposed well locations to protect them from soil compaction and/or destruction. If an existing well adjacent to the old house is abandoned, the applicant will need to abandon the well in accordance with Minnesota State Rules and Regulations and have the work completed by a contractor that is certified well abandoning procedures. A copy of any well abandonment certification needs to be provided to the City engineer and planner's office for their files. In accordance with the Site Plan Building Permit Application Procedures Checklist, the size of the proposed well must also be specified and installed by a licensed well driller according to Minnesota State Rules and Regulations.

Conclusion and Recommendations

Based upon our review of the proposed site and grading plan for the proposed new home at 393, Salem Church Road proposed site and grading plans appear to be consistent with the City's requirements, with the exception of the above-noted items in this memorandum. If drainage and infiltration improvements are determined necessary due to increased run-off rates and increased impervious surface then the plans must be modified to show how these are to be handled. Therefore, we hereby find the proposed plans not to be in accordance with City requirements and recommend denial from an engineering standpoint for this project until these items are addressed. Please also note that the applicant will need to submit any structural retaining wall design and final wall plans to the City Engineer's office for review prior to issuing a building permit. We are requesting a new set of plans addressing these comments and drainage calculations be resubmitted to our office prior to final issuing of the building permit on the project.

Michelle Barness

From: Don Sterna [DSterna@wsbeng.com]
Sent: Wednesday, April 17, 2013 4:22 PM
To: Michelle Barness
Cc: Tom Voll
Subject: RE: Sunfish Lake - 393 Salem Church Rd. Site and Building Plan Review

Hi Michelle

We completed our review of the revised plans and will have our memo to you tomorrow. The applicant has implemented most of the suggested plan revisions with the exception of the following:

- 1.) Extend protective fence around Primary drain field.
- 2.) Structural calculations from a registered engineer in the State of Mn. Will be required for the wall since the total height exceeds 4 feet. A copy just needs to be provided to the engineer office before the work on the wall can proceed.
- 3.) Infiltration and or retention needs to be developed and incorporated into the final drainage plans for the 0.19 acres of new impervious surface. (345 cubic feet of retention)
- 4.) Silt fence needs to be adjusted to encompass all tree planting areas.
- 5.) Silt fence needs to be added around the proposed septic tank removal area.

We are supportive of approval of the project with the above conditions added to the approval. A final memo will be provided detail these for conditions of approval.

Don

Don Sterna, PE

Transportation Final Design Manager, Vice President

d: 763-287-7189 | c: 612-360-1289

WSB & Associates, Inc. | 701 Xenia Avenue South, Suite 300 | Minneapolis, MN 55416



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From: Michelle Barness [<mailto:mbarness@nacplanning.com>]
Sent: Thursday, April 11, 2013 3:57 PM
To: Don Sterna; Tom Voll
Subject: Sunfish Lake - 393 Salem Church Rd. Site and Building Plan Review

Hello Don and Tom,

Jason Aune, landscape architect for the 393 Salem Church Rd. project in Sunfish Lake, should have forwarded you revised plans responding to the recommendations provided in your report. I believe he forwarded additional septic information as well. Please take a look at the information he provided and get me any feedback you have by next Tuesday afternoon. In particular, I will need to know whether you are recommending approval, and with what remaining conditions. I will share your final recommendations with the Planning Commission at the meeting next Wednesday night and will make sure any conditions are integrated in the PC findings.

Thanks much,

SCHACKER RESIDENCE
SUNFISH LAKE, MINNESOTA
SITE & LANDSCAPE PERMIT REVIEW SET

PERFORMANCE
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Uthmaniyah

200 3rd Ave. N. Ste 401 Minneapolis, MN 55401 | (612) 338-2029

ARCHITECT
SALA Architects, Inc.
904 South 4th St.
Stillwater, MN 55082
Wayne Brannum, AIA, CID
651-351-0961

CLIENT:
Tim and Kristin Schacker
North Oaks, MN

THE SQUARE APPEARS 12" x 12" ON
FULL SIZE SHEETS.

2	4-10-2013	PERMIT REVISIONS
1	3-18-2013	PERMIT REVIEW
NO	DATE	REVISION FOR

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

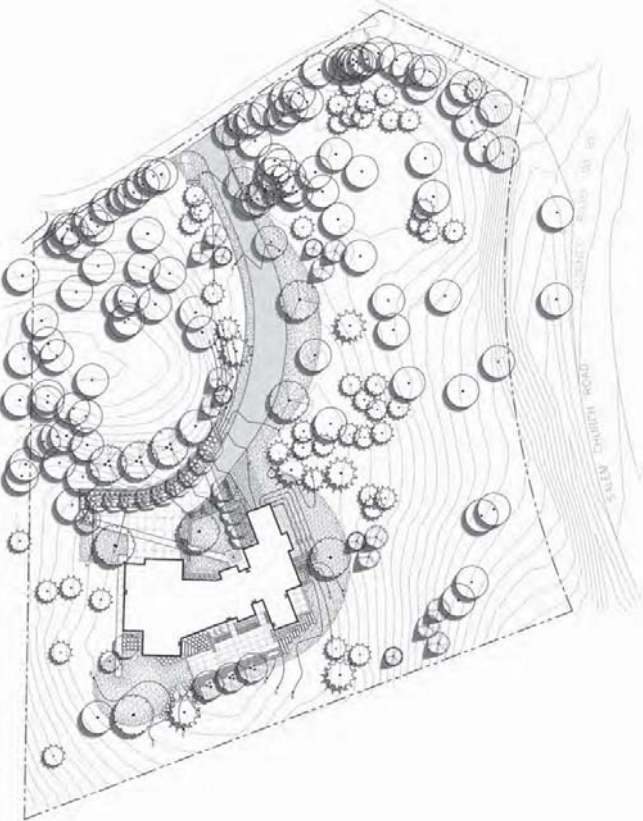
SIGNATURE: 
TYPED OF PRINTED NAME: JASON KANE
DATE: 4-11-2013 REG. NO.: 57652

PROJECT NAME:
SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

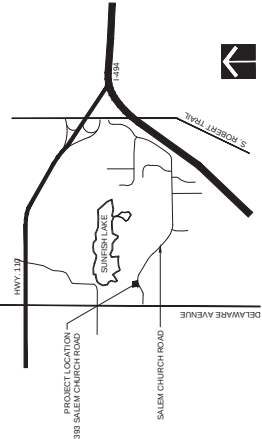
COVER SHEET

FILE: C:\3000000\Drawings\PLAN\3000.L00.L2002.dwg
DRAWN BY: JAK
CHECKED BY: JAK
PLOT: NO 1/30/09
DRAWING NO:

L0.0



VICINITY MAP



SHEET INDEX

L0.0	COVER SHEET
L1.0	DEMO /EROSION CONTROL PLAN
L2.0	SITE / GRADING PLAN
L2.1	STORMWATER EXHIBITS
L2.2	SWPPP
L3.0	LAYOUT PLAN
L4.0	OVERALL PLANTING PLAN
L4.1	HOUSE AREA PLANTING PLAN
L5.0	DETAILS
...	SURVEY

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ARCHITECT
SALA Architects, Inc.
904 South 4th St.
St. Paul, MN 55102
Wayne Branum, AIA, CID
651.351.0961

CLIENT
Tim and Kristin Schacker
North Oaks, MN

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2	4-10-2013	PERMIT REVISIONS
1	3-28-2013	PERMIT REVIEW
NO	DATE	REVISION FOR
NO	DATE	REVISION

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SIGNATURE:

DATE: 4-11-2013

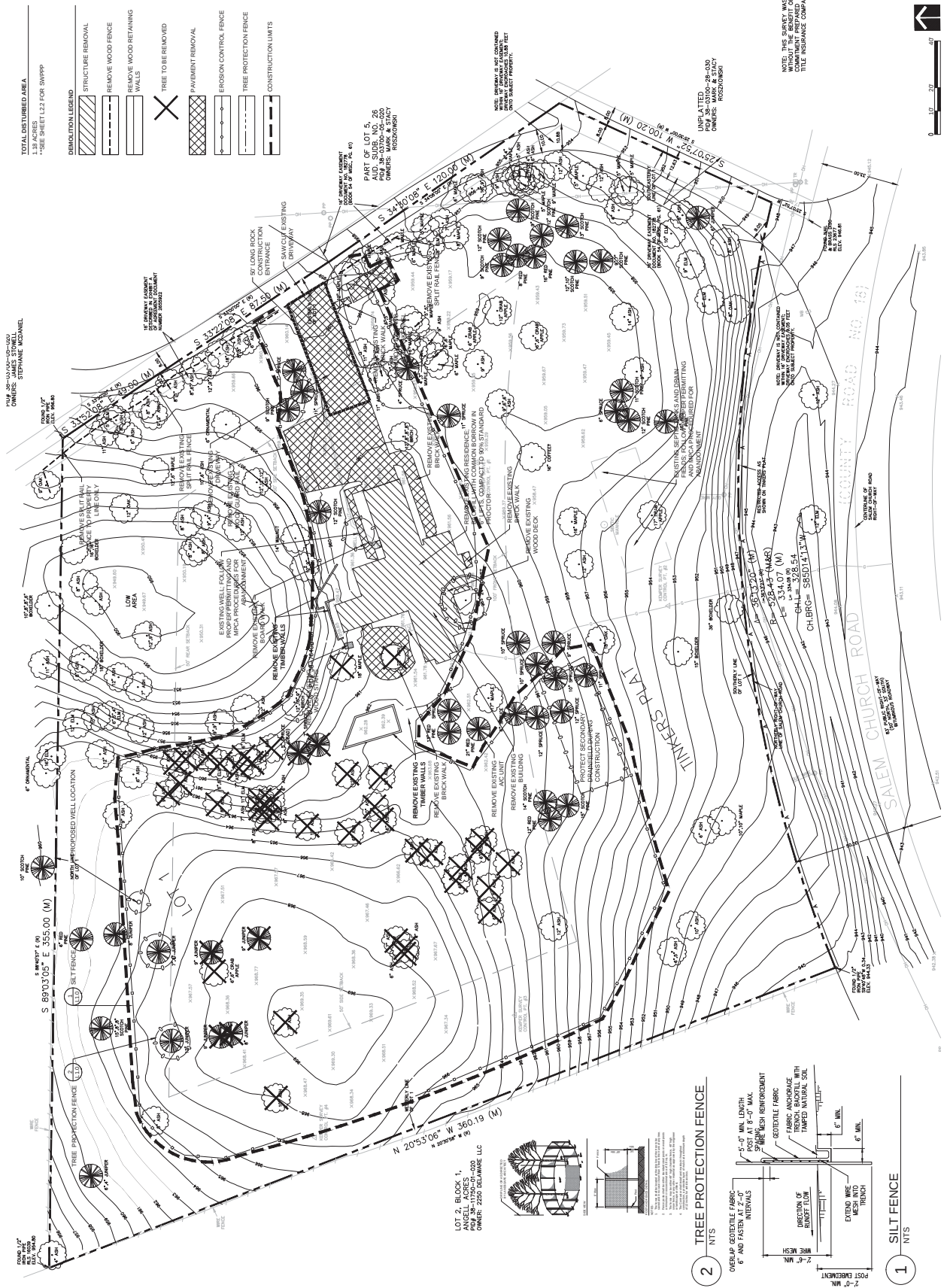
REG. NO.: 25262

PROJECT NAME

SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

EROSION CONTROL /
DEMO PLAN

FILE: L1.0
CHECKED BY: JPA
PROJECT NO.: 13099
DRAWING NO.: L1.0



TOTAL DISTURBED AREA
1.8 ACRES
*SEE SHEET L2.2 FOR SWPPP

DEMOLITION LEGEND	
	STRUCTURE REMOVAL
	REMOVE WOOD FENCE
	REMOVE WOOD RETAINING WALLS
	TREE TO BE REMOVED
	PAVEMENT REMOVAL
	EROSION CONTROL FENCE
	TREE PROTECTION FENCE
	CONSTRUCTION LIMITS

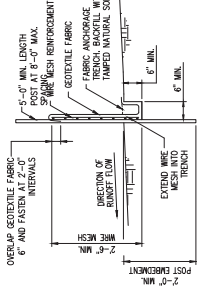
PART 65 LOT 5
ADD. SUB. NO. 26
P.O. 18-07700-26-000
OWNER: ROSADONSKI

NOTE: PERMANENT IS NOT CONTAINED
WITHIN 10' OF ADJACENT PROPERTY
AND SUBJECT PROPERTY.

UNPLANTED
P.O. 18-07700-26-000
OWNER: ROSADONSKI

NOTE: THIS SURVEY WAS
PERFORMED FOR THE BENEFIT OF
THE CLIENT AND DOES NOT
WARRANT ANY INSURANCE COMPANY

2 TREE PROTECTION FENCE
NTS



1 SILT FENCE
NTS





ARCHITECT:

CLIENT: **Tim and Kristin Schacker**
North Oaks, MN

THIS SQUARE APPEARS 1 1/2" x 1 1/2" ON
FULL SIZE SHEETS.

[illegible]

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

THE STATE OF MINNESOTA,

REG. NO.: 42162
7-2013

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PROJECT NAME:
SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

NOTE: THIS SURVEY WAS
WITHOUT THE BENEFIT OF
COMMITMENT PREPARED
BY THE NATIONAL ACADEMY OF SCIENCES

DRAWING TITLE:
SITE AND GRADING PLAN

FILE: ..\130180\640 Drawing\LA130080 L20_GB40ING.dwg
DRAWN BY: BMD
CHECKED BY: JPA
PROJ. NO: 130180
DRAWING NO: L20.0



L2.0



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ARCHITECT

SALA Architects, Inc.
904 South 4th St.
Stillwater, MN 55082
Wayne Brannum, AIA, CID
651-351-0961

CLIENT

Tim and Kristin Schacker
North Oaks, MN

THE SQUARE APPEARS 1/2" = 1/2' ON
FULL SIZE SHEETS.

2	4-10-2013	PERMIT REVISIONS
1	3-18-2013	PERMIT REVIEW
NO	DATE	REVISION FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: *Shawn Nelson*

TYPED OF PRINTED NAME: JAM. TOSKELAR

DATE: 4-11-2013 REG. NO.: 24755

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PROJECT NAME

SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

EXHIBIT TITLE

DRAINAGE DIAGRAM
AND CALCULATIONS
(EXHIBIT ONLY)

FILE: J:\30000000\Drawings\PLAN\3000.LA2_C300.dwg

DATE: 4-11-2013

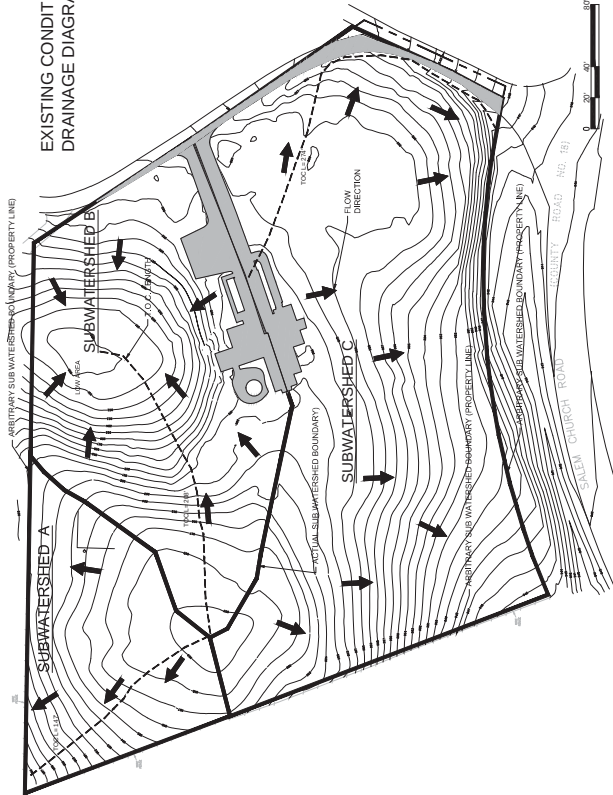
CHECKED BY: JPA

PROJECT NO.: 130389

DRAWING NO.

L2.1

EXISTING CONDITIONS DRAINAGE DIAGRAM



EXISTING CONDITIONS STORMWATER CALCULATION (2 YR 24 HR RAIN EVENT)

RATIONAL METHOD	SUBWATERSHED	TOTAL AREA	PERVIOUS	IMPERVIOUS	WEIGHTED 'C'	T.O.C.	(Q) INTENSITY	(Q) RATE
A	39 ACRES	.39 ACRES	.07 ACRES	.32 ACRES	.25	7.5 MIN.	4.5 IN/HR	.44 CFS
B	81 ACRES	.81 ACRES	.74 ACRES	.07 ACRES	.31	11 MIN.	4 IN/HR	.99 CFS
C	1.45 ACRES	1.45 ACRES	1.39 ACRES	.06 ACRES	.28	15 MIN.	3.3 IN/HR	1.33 CFS

NOTE: SURFICIAL SOILS OF SITE ARE ANTICIPATED TO BE LOAMY SAND BASED ON SOIL BORING LOGS FOR SEPTIC DRAINFIELD

TOTAL CFS

2.76 CFS

PROPOSED STORMWATER CALCULATION (2 YR 24 HR RAIN EVENT)

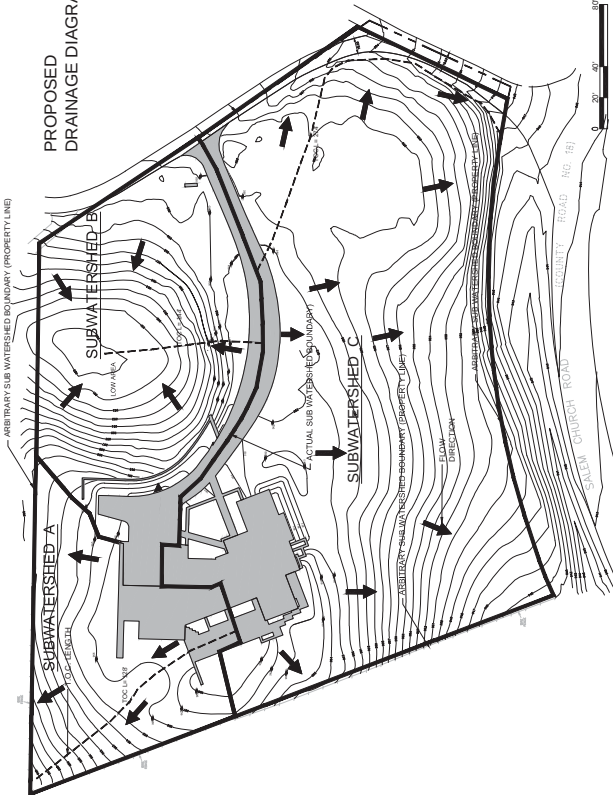
RATIONAL METHOD	SUBWATERSHED	TOTAL AREA	PERVIOUS	IMPERVIOUS	WEIGHTED 'C'	T.O.C.	INTENSITY	(Q) RATE
A	39 ACRES	.39 ACRES	.06 ACRES	.33 ACRES	.36	7.5 MIN.	4.5 IN/HR	.63 CFS
B	81 ACRES	.81 ACRES	.74 ACRES	.07 ACRES	.34	11 MIN.	4 IN/HR	1.07 CFS
C	1.68 ACRES	1.68 ACRES	1.43 ACRES	.25 ACRES	.32	15 MIN.	3.3 IN/HR	1.07 CFS

NOTE: SURFICIAL SOILS OF SITE ARE ANTICIPATED TO BE LOAMY SAND BASED ON SOIL BORING LOGS FOR SEPTIC DRAINFIELD

TOTAL CFS

3.30 CFS

PROPOSED DRAINAGE DIAGRAM





ARCHITECT:
SALA Architects, Inc.
904 South 4th St.
Stillwater, MN 55082
Wayne Brannum, AIA, CID
651-351-0961

Tim and Kristin Schacker
North Oaks, MN

THIS SQUARE APPEARS 1/2" x 1/2" ON
FULL SIZE SHEETS.

1	3-18-2013	PERMIT REVIEW
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NO	DATE	REVISION
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I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

17196.

DATE: 4-11-2013 REG. NO.: 42162

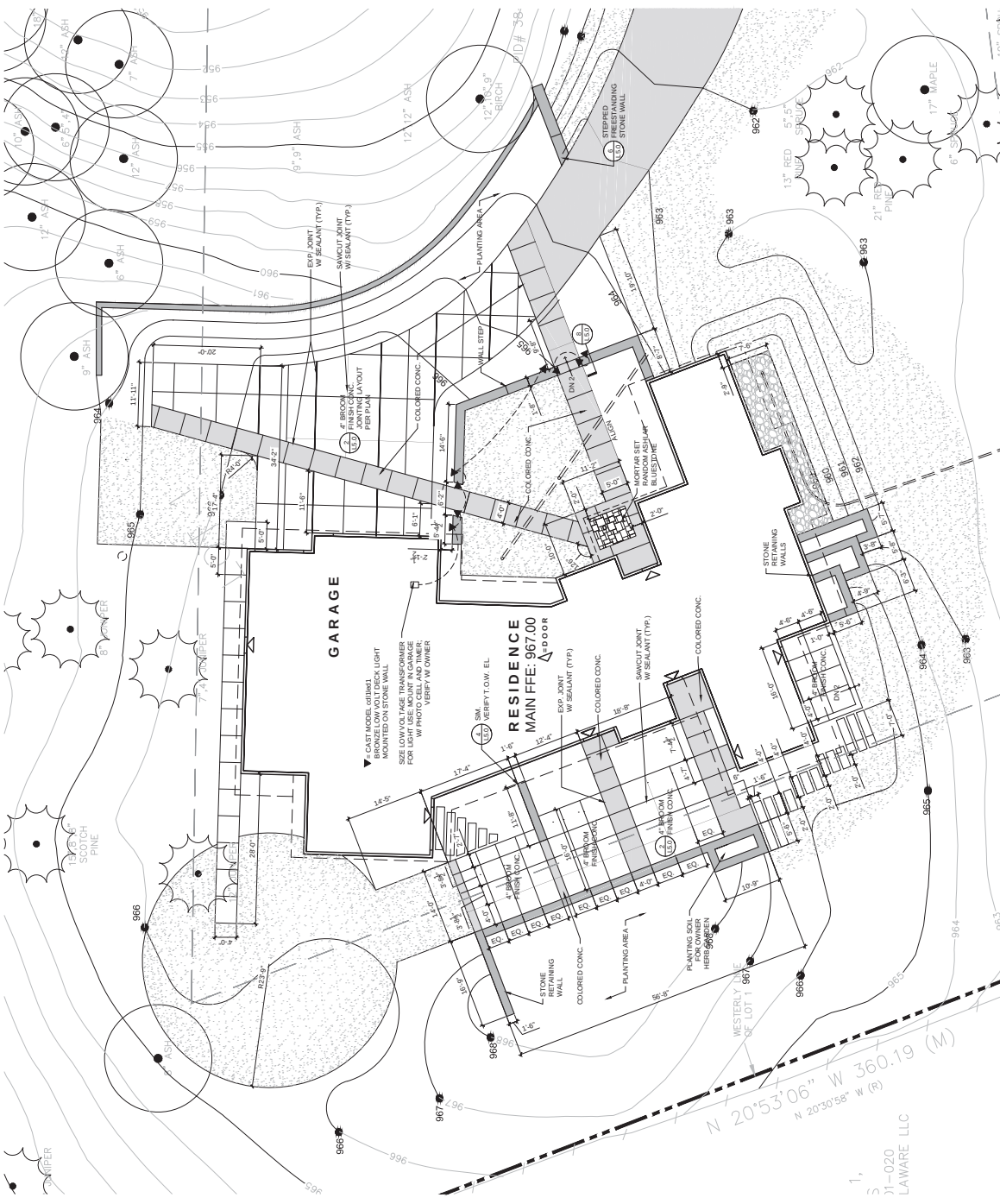
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PROJECT NAME:
SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

DRAWING TITLE:
LAYOUT PLAN

RLE: ..130080600 Drawing:LA130080.L1.0 SITE.dwg
DRAWN BY: BMD
CHECKED BY: JPA
PROJ. NO: 130080
DRAWING NO:

L3.0



1,





ARCHITECT

CLIENT: **Tim and Kristin Schacker**
North Oaks, MN

THIS SQUARE APPEARS 1 1/2" x 1 1/2" ON
FULL SIZE SHEETS.

[illegible]

SIGNATURE: _____

TYPED OR PRINTED NAME: JASON ALONE
DATE: 4-11-2013 REG. NO.: 42162

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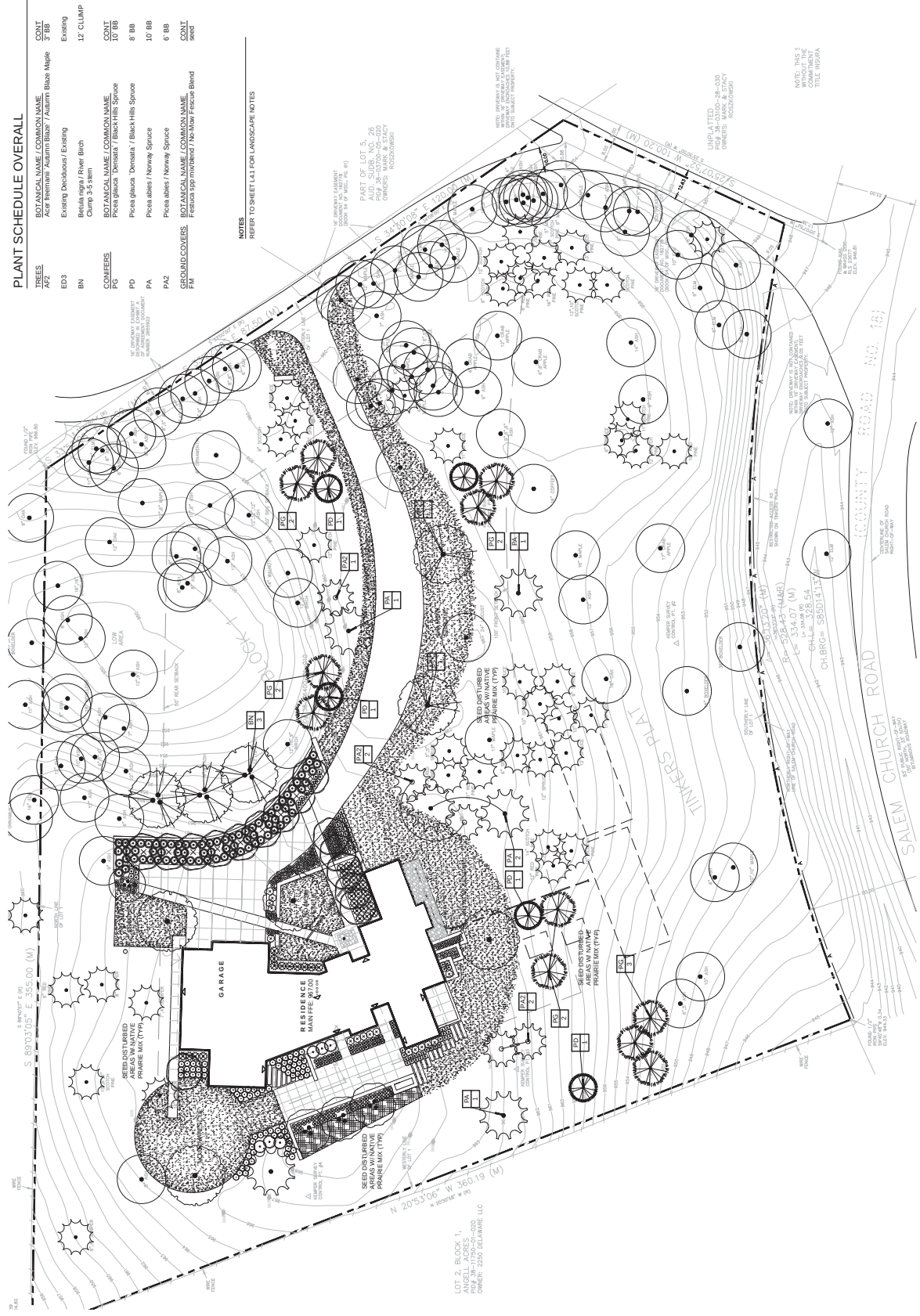
SCHACKER RESIDENCE
393 SALEM CHURCH ROAD
SUNFISH LAKE, MN 55118

DRAWING TITLE: OVERALL PLANTING PLAN

FILE: ..\130080\600 Drawings\A130080 L4.0 PLANTING PLAN.dwg
DRAWN BY: BMD
CHECKED BY: JPA
PROJ. NO: 130080
DRAWING NO: L4.0

TREES	BOTANICAL NAME / COMMON NAME	FRUIT
A22	Acacia terminalis / Autumn Blaze / Autumn Blaze Maple	3' BBT
ED3	Existing Deciduous/ Existing	Existing
BN	Betula nigra / River Birch	12' CLUMP
	Clump 3-5 stem	
CONIFERS	BOTANICAL NAME / COMMON NAME	FRUIT
PG	Picea glauca / Denstad / Black Hills Spruce	10' BB
PD	Picea glauca / Denstad / Black Hills Spruce	8' BB
PA	Picea abies / Norway Spruce	10' BB
PA2	Picea abies / Norway Spruce	6' BB
GROUND COVERS	BOTANICAL NAME / COMMON NAME	FRUIT
FM	Festuca arvensis / Meadow Fescue / Fescue Blend	Seed

NOTES
REFER TO SHEET L4.1 FOR LANDSCAPE NOTES





ARCHITECT:

9 SHRUB PLANTING
Scale: NTS



L5.0



L5.0

**CITY OF SUNFISH LAKE
DAKOTA COUNTY, MINNESOTA**

RESOLUTION NO. _____

**RESOLUTION APPROVING MAJOR SITE AND BUILDING PLANS
FOR A NEW HOME AND ATTACHED GARAGE AT 393 SALEM CHURCH ROAD,
LEGALLY DESCRIBED AS LOT 1, BLOCK 1, TINKERS PLAT.**

WHEREAS, SALA Architects, Inc. submitted an application for a major site and building plan review for a new home and attached garage on the property located at 393 Salem Church Road, legally described as:

Lot 1, Block 1, Tinkers Plat, Dakota County, MN

WHEREAS, the property is zoned R-1 Single Family Residential and Shoreland Overlay District, and the single family use is a permitted use in the R-1 District; and

WHEREAS, City staff reviewed the application and judged it to be complete and outlined their review comments in a planning report dated April 10, 2013, prepared by Northwest Associated Consultants, and an engineer's report dated April 2, 2013; and

WHEREAS, the Sunfish Lake Planning Commission held a public hearing at their April 17, 2013 meeting and reviewed the major site and building plan application, along with the planning report dated April 10, 2013; and

WHEREAS, upon hearing the staff presentations, applicant testimony, and public testimony, the Planning Commission closed the public hearing and recommend to the City Council approval of the major site and building plans, whereby the following findings support the Planning Commission recommendation to approve the major site and building plans:

1. The property is zoned R-1 Single Family Residential District and Shoreland Overlay District, and single family use is a permitted use in the R-1 District.
2. The proposed home will meet R-1 District and Shoreland Overlay District lot area, width and setback standards.
3. The proposed home meets Ordinance requirements pertaining to building size, height, and material use.
4. The proposed home, garage and expanded driveway will address Ordinance requirements pertaining to drive and parking area design, lighting design, site grading, drainage and stormwater management, landscaping, fencing, screening, and septic system design.

5. The proposed building meets the requirements of the Sunfish Lake Design Guidelines.
6. The proposed home meets all other Zoning Ordinance criteria.

WHEREAS, the Sunfish Lake City Council considered the application for major site and building plan review at their meeting on May 7, 2013 and agrees with the findings of the Planning Commission.

NOW THEREFORE BE IT RESOLVED THAT the City Council of the City of Sunfish Lake hereby approves the major site and building plan request dated March 18, 2013 for the property legally described as Lot 1, Block 1, Tinkers Plat with the following conditions:

1. The applicant shall provide proof that upon completion of installation of lights, all lights or combination of lights which cast any light on residential property or over public water do not exceed one foot candle (meter reading) as measured from the edge of water abutting the subject property, and from adjacent property lines. This may be demonstrated by providing evidence of at which distance out from proposed light fixtures meter readings will fall below the required one foot candle measurement.
2. The applicant shall meet any remaining stormwater, grading, erosion control and septic recommendations addressed by the City Engineer in his report (Exhibit M), and additional specific conditions provided by the City Engineer on April 17, 2013 as follows:
 - a) Extend protective fencing around the primary drain field.
 - b) Structural calculations from a registered engineer in the State of Minnesota will be required for retaining walls that exceed four feet in height. A copy of these plans needs to be provided to the engineer office before the work on the wall can proceed.
 - c) Infiltration and or retention needs to be developed and incorporated into the final drainage plans for the 0.19 acres of new impervious surface (345 cubic feet of retention).
 - d) Silt fence needs to be adjusted to encompass all tree planting areas.
 - e) Silt fence needs to be added around the proposed septic tank abandonment area.
3. The applicant must comply with the recommendations of the City Septic Systems Specialist pertaining to the removal of existing septic areas, and installation of the proposed primary and secondary septic areas.
4. The applicants must comply with City Code demolition requirements, including completing a building permit application and submitting it along with a completed Dakota County Intent to Perform Demolition form to the Dakota County Environmental

Services Division, as described in the “General Permit Form” provided on the Sunfish Lake website. All requirements associated with these permits must be complied with.

5. The applicant shall revise their landscape plans so as to remove any solid wall fences, which are currently prohibited by Zoning Ordinance. The wall around the perimeter of the courtyard may remain, and will be considered integral to the retaining wall in that area.
6. Based on the recommendation of the City Forester, the applicants install all proposed trees prior to the project undergoing final site inspections.
7. Prior to receiving a certificate of occupancy, the applicant must contact planning staff to arrange pre- and post-construction site visits, whereby staff can confirm that site and building plans and associated approval conditions have been implemented accordingly. The inspections are separate from other inspections that may be necessary by the City Building Inspector, City Septic System Inspector, City Engineer, or other individuals. The cost of site inspections is \$75 each and payment of this amount shall be the responsibility of the property owner.

This resolution is adopted by the City Council of the City of Sunfish Lake this 7th day of May 2013.

Molly Park, Mayor

Attest:

Catherine Iago, City Clerk